



Bath Township Zoning

Summit County, Ohio
3864 West Bath Road - P.O. Box 1188 - Bath, Ohio - 44210-1188
Phone: 330.666.4007 - Fax: 330.666.0305
www.bathtownship.org

Zoning Variance Application

For office use only:	ARC File No.:	BZA File No.:	16-14
Associated permits:			

Applicant Data

Name: Steve Ryan + Stacie Ryan

Company Name: _____

Address: 498 Bath Hills Blvd.

Telephone No.: 330-810-2009 Email: Stevennyryan4@yahoo.com

Property Data

Zoning District: (circle one) R-1 R-2 R-3 R-4 B-1 B-2 B-3 B-4 B-5

Corner Lot: Yes No Note: Corner lots are required to meet the front setback on both streets.

Property Address: 498 Bath Hills Blvd. Parcel No.: 0500402

Allotment Name: Hills and Dale Lot No.: _____

Owner(s): Barb Mahoney

Owner Address: 540 Beaverbrook Dr.

Telephone No.: 316-533-0508

Variance(s) Requested

Below list the specific section from the Zoning Resolution from which the variance is being sought, a description of each variance being sought, and explain the practical difficulty justifying the application for each variance being sought. The Zoning Resolution is available online at www.bathtownship.org through the zoning link.

1. Section: 504-B ^{Table 504-1} Description: addition of an attached garage +
Second floor storage area - ~~front yard setback~~ variance requested.

Practical Difficulty: ~~front variance~~ needed. (corner lot)

2. Section: _____ Description: _____

Practical Difficulty: _____



BATH TOWNSHIP

Summit County, Ohio

July 29, 2016

**Bath Township
Board of Zoning Appeals
Case No. BZA-16-14**

Notice is hereby given that the Bath Township Board of Zoning Appeals will hold a public hearing at the Bath Township Administrative Offices, 3864 W. Bath Road, Bath, Ohio on Tuesday, August 16, 2016 at 7:00 PM for the appeal of **Case No. BZA-16-14**, Stacie and Steve Ryan, requesting variances from Article 5, Section 504-B, Table 504-1 to reduce the required front yard setback for an addition. Property is located at 498 Bath Hills Boulevard in the R-3 Residential District.

This message is for the purpose of giving abutting property owners and other interested parties a notice of such hearing. However, this hearing is not limited to those persons receiving a copy of this notice. If you know of any property owners or affected neighbors who are interested and have not received a copy of this notice, please have them contact the undersigned.

Applicant or agent for said application must be present for this meeting.

Sincerely,

Nanci L. Noonan

Nanci L. Noonan
Zoning Administrative Assistant

cc: Board of Zoning Appeals (7)
File
Applicant
Attached abutting properties per the Summit County G.I.S. map application



BATH TOWNSHIP

Summit County, Ohio

August 12, 2016

**Bath Township
Board of Zoning Appeals
Case No. BZA-16-14**

PLEASE NOTE: The following case has been postponed and is not being held on August 16th. The new date set for this case is Tuesday, August 23th, 2016.

Time: 7:00 P.M. in the Trustee Meeting Room, 3864 West Bath Road, Bath, Ohio.

Case No. BZA-16-14, Stacie and Steve Ryan, requesting variances from Article 5, Section 504-B, Table 504-1 to reduce the required front yard setback for an addition. Property is located at 498 Bath Hills Boulevard in the R-3 Residential District.

This message is for the purpose of giving abutting property owners and other interested parties a notice of such hearing. However, this hearing is not limited to those persons receiving a copy of this notice. If you know of any property owners or affected neighbors who are interested and have not received a copy of this notice, please have them contact the undersigned.

Applicant or agent for said application must be present for this meeting.

Sincerely,

Nanci L. Noonan

Nanci L. Noonan
Zoning Administrative Assistant

cc: Board of Zoning Appeals (7)
File
Applicant
Attached abutting properties per the Summit County G.I.S. map application

BUSHNELL CHRISTIAN
510 SUN VALLEY DR
AKRON OH 44333

JAS FAMILY PROPERTIES LLC
2215 E WATERLOO RD
AKRON OH 44312

OSTERLAND CHARLES E TRUSTEE
22990 BATES RD
SARASVILLE OH 43779

PETRO ATHUR III
2554 EAST 22ND STREET
CLEVELAND OH 44115

SHOVESTULL KEITH S
475 SUN VALLEY DR
AKRON OH 44333

CLAYTON JEANNE M
2712 BERKSHIRE CIR
AKRON OH 44333

HOHENADEL MELANIE D
502 SUN VALLEY DR
AKRON OH 44333

SWEENEY PATRICK J
2695 BERKSHIRE CIR
AKRON OH 44333

KIMMELL LANCE L
472 GREENHAVEN CIR
AKRON OH 44333

DESALVO CATHERINE
527 BATH HILLS BLVD
AKRON OH 44333

LEIBOWITZ CAROL A TRUSTEE
465 SUN VALLEY DR
AKRON OH 44333

LEWIS BARBARA R TRUSTEE
439 SUN VALLEY DR
AKRON OH 44333

BOLDI DAVID H
492 SUN VALLEY DR
AKRON OH 44333

DAUGHERTY JAMES A
2444 GREENHAVEN DR
AKRON OH 44333

CLARK JOHN H TRUSTEE
479 BATH HILLS BLVD
AKRON OH 44333

BURFORD PAUL E
482 SUN VALLEY DR
AKRON OH 44333

WISENER TERRANCE P
495 BATH HILLS
AKRON OH 44333

MYERS TIMOTHY J SR
478 BATH HILLS BLVD
AKRON OH 44333

GRUICH MARK S
2449 GREENHAVEN DR
AKRON OH 44333

MAHONEY BARBARA J
540 BEAVERBROOK DR
AKRON OH 44333

OWENS ELEANOR J
2700 BERKSHIRE CIR
AKRON OH 44313

RUPNIK KEITH N
2435 GREENHAVEN DR
AKRON OH 44333

GAMBOA GUILLERMO E
PO BOX 5226
AKRON OH 44334

HEMSWORTH JACQUELINE A
2708 BERKSHIRE CIR
AKRON OH 44333

GARDNER BIANCA R
493 SUN VALLEY DR
AKRON OH 44333

OHAYON EFRAT
480 GREENHAVEN CIR
AKRON OH 44333

TOBIN GERARD A
431 SUN VALLEY DR
AKRON OH 44333

POTTS GERALD R
485 SUN VALLEY DR
AKRON OH 44333

RODGERS GENEVIEVE P
451 SUN VALLEY DR
AKRON OH 44333

ROCHFORD LETITIA S
469 BATH HILLS BLVD
AKRON OH 44333

COBB FRANK A JR
468 BATH HILLS BLVD
AKRON OH 44333

GEIGER THOMAS E
468 GREENHAVEN CIR
AKRON OH 44333

BOARD OF EDUCATION OF COPLEY LOCAL SCH DIST
3797 RIDGEWOOD RD
AKRON OH 44321

WILKINSON DAMARCUS R
2506 W MAIN ST
HOUSTON TX 77088

BEATTY FLOYD R
2715 SUN VALLEY CIR
AKRON OH 44333

WEIGAND LORI L
2707 SUN VALLEY CIR
AKRON OH 44333

SZELES EARLENE A
460 BATH HILLS BLVD
AKRON OH 44333

Akron Beacon Journal



Publication Name:
Akron Beacon Journal

Publication URL:

Publication City and State:
Akron, OH

Publication County:
Summit

Notice Popular Keyword Category:

Notice Keywords:
Bath Township

Notice Authentication Number:
201608150713316238744
1255898914

Notice URL:

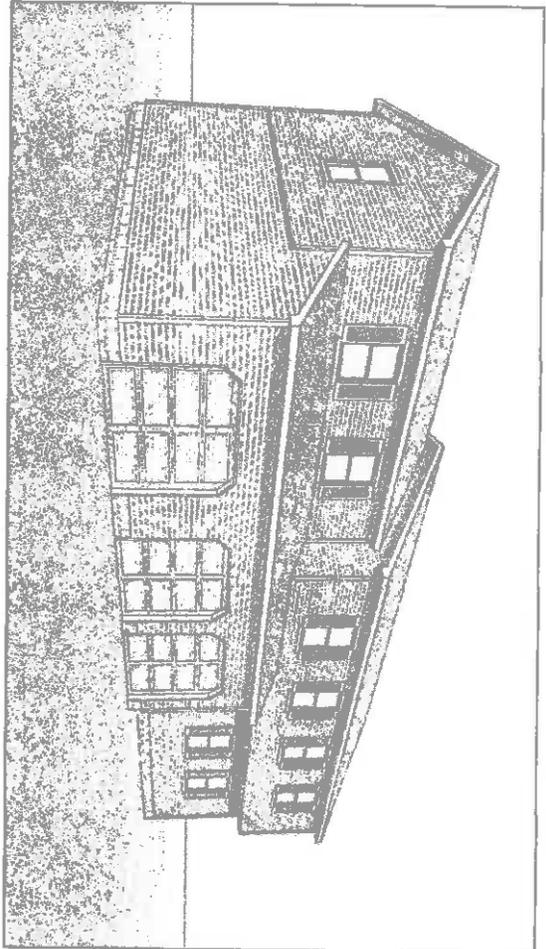
Notice Publish Date:
Friday, August 12, 2016

Notice Content

08/13/2016 Notice of Public Hearing Notice is hereby given that the Bath Township Board of Zoning Appeals will hold a public hearing at the Bath Township Administrative Offices, 3864 W. Bath Road, Bath, Ohio on Tuesday, August 23, 2016 at 7:00 p.m. for the appeal of: (1) Untable Case No. BZA-16-11, Carnen Girves of Custom Gardens and Landscape requesting variance from Article 13, Section 1309-A-1 for secondary sign. Property is located at 2368 N. Cleveland-Massillon Road in the B-1 Business District. (2) Case No. BZA-16-14, Steve and Stacie Ryan requesting variance from Article 5, Section 504-B, Table 504-1 to reduce the required front yard setback a for an addition. Property is located at 498 Bath Hills Boulevard in the R-3 Residential District. Applications are on file at the Township Administrative Offices and available for viewing. All meetings are open to the public William J. Funk Jr. Zoning Inspector/ Administrator AUG 13

[Back](#)

Ryan Remodel



Conceptual Rendering

GENERAL FRAMING NOTES

- All studs Grade- "Stud or Better"
- Exterior studs 2 x 4 - 16" o.c.
- Interior studs 2 x 4 - 16" o.c.
- Garage studs 2 x 4 - 16" o.c.
- Interior bearing walls @ 2 x 4 - 16" o.c.
- All drywall backing to be ladder backing
- Verify beams and headers for roof loads
- Install roof and truss bracing per I.R.C. Code
- Install rafter end truss by-downs per 2013 Residential Code of Ohio
- Apply minimum 3/4" continuous bead of construction adhesive
- underneath all subfloor framing members. Fully fashion immediately with 8d ring shank nails.
- Frame follow 2013 Residential Code of Ohio
- Smoke Detectors hard wired in series

- 1.) All Drawings and Construction shall conform to the Certified Ordinances of Kentlandville, OH
- 2.) All Drawings and Construction shall conform to the 2014 Ohio Residential Code
- 3.) All Drawings and Construction shall conform to the 2011 Ohio Plumbing Code
- 4.) All Drawings and Construction shall conform to the 2011 Ohio Mechanical Code
- 5.) All Drawings and Construction shall conform to the 2014 National Electric Code

2014 ORC CODE ANALYSIS

Use Group Classification	R, Residential Single Family
Roof Live (Snow) Load and Dead Load	30 p s f and 30 p s f
Construction type	TYPE III-B
Wind Load, Live, Uplift	33 p s f (Quarterly), 35 p s f (Gully)
Wind Merc. Design Velocity	90 mph

DRAWING SCHEDULE

COVER PAGE	1
ELEVATIONS-EXISTING	2
FLOOR PLANS-EXISTING	3
MAIN FLOOR PLAN-PROPOSED	4
SECOND FLOOR-PROPOSED	5
DETAIL SET	6

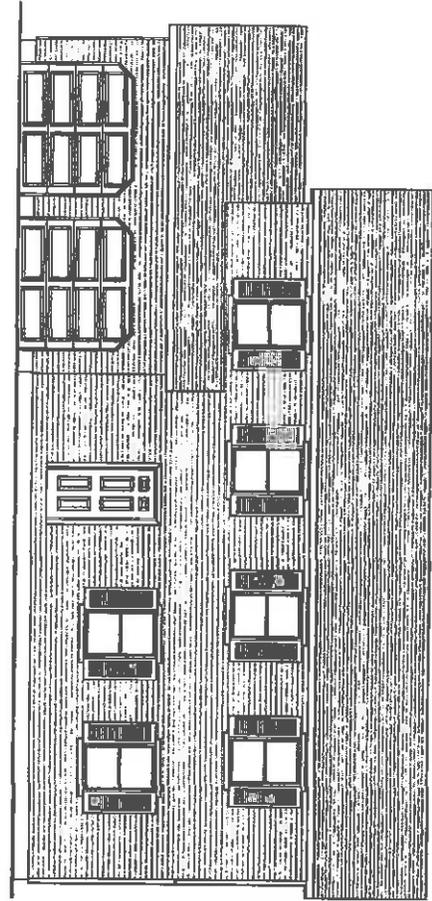
CADWORKS CONSULTING, INC.
 6025 PEBBLEBROOK LN, #181
 KENT, OH. 44240
 330-678-6785

Ryan Residence-Remodel
 406 Bath Hills Blvd Bath Twp
 Ohio

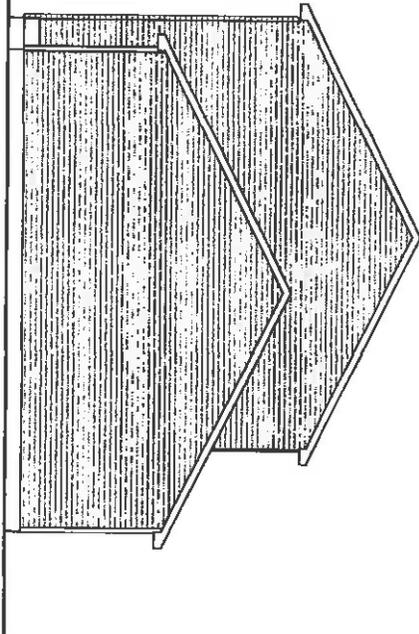
These drawings are for design purposes only, responsibility for construction rests with contractor. All dimensions and approximates and may vary due to construction and architectural variations. All symbols shown are representations. All dimensions shown are the architect's concept and may vary. Further shall take any necessary field adjustments that may be required.

SCALE	1/20/2016
DRAWN BY NFB	REVISED
DRAWING:	COVER PAGE

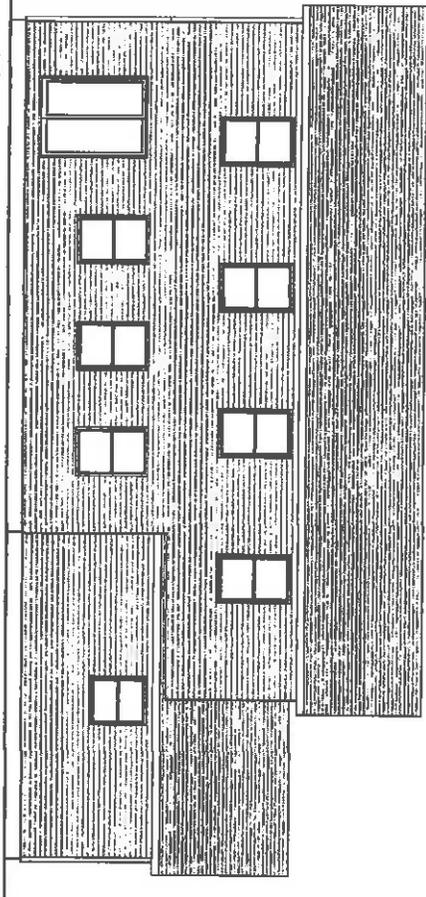
Front Elevation-Existing
SCALE: 3/16" = 1'-0"



Left Elevation-Existing
SCALE: 3/16" = 1'-0"



Rear Elevation-Existing
SCALE: 3/16" = 1'-0"



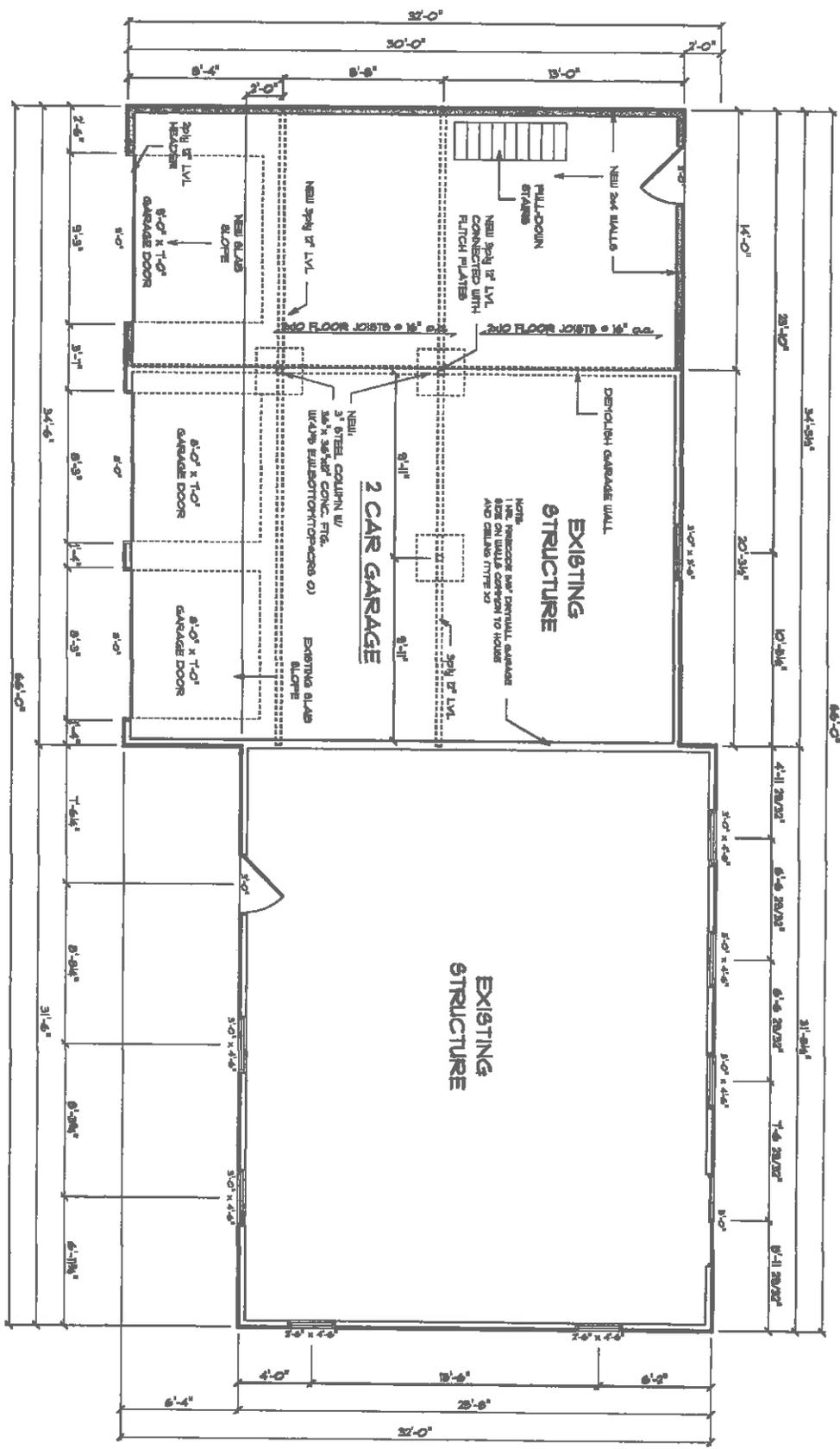
CADWORKS CONSULTING, INC.
6025 PEBBLEBROOK LN, #181
KENT, OH. 44240
330-678-6785
A
BD.

Ryan Residence-Remodel
408 Bath Hills Blvd Bath Township
Ohio

These drawings are for design purposes only, representing
for construction needs with contractor. All dimensions are approximate
and may vary due to construction and structural variations.
All symbols shown are representations.
All elevations shown are the architect's concept and may vary.
Builder shall make any necessary field adjustments that may be required.

SCALE	7/20/20%
DRAWN BY	RFB
REVISID	
DRAWING:	ELEVATIONS-EXISTING

MAIN FLOOR-Proposed
SCALE: 1/4" = 1'-0"



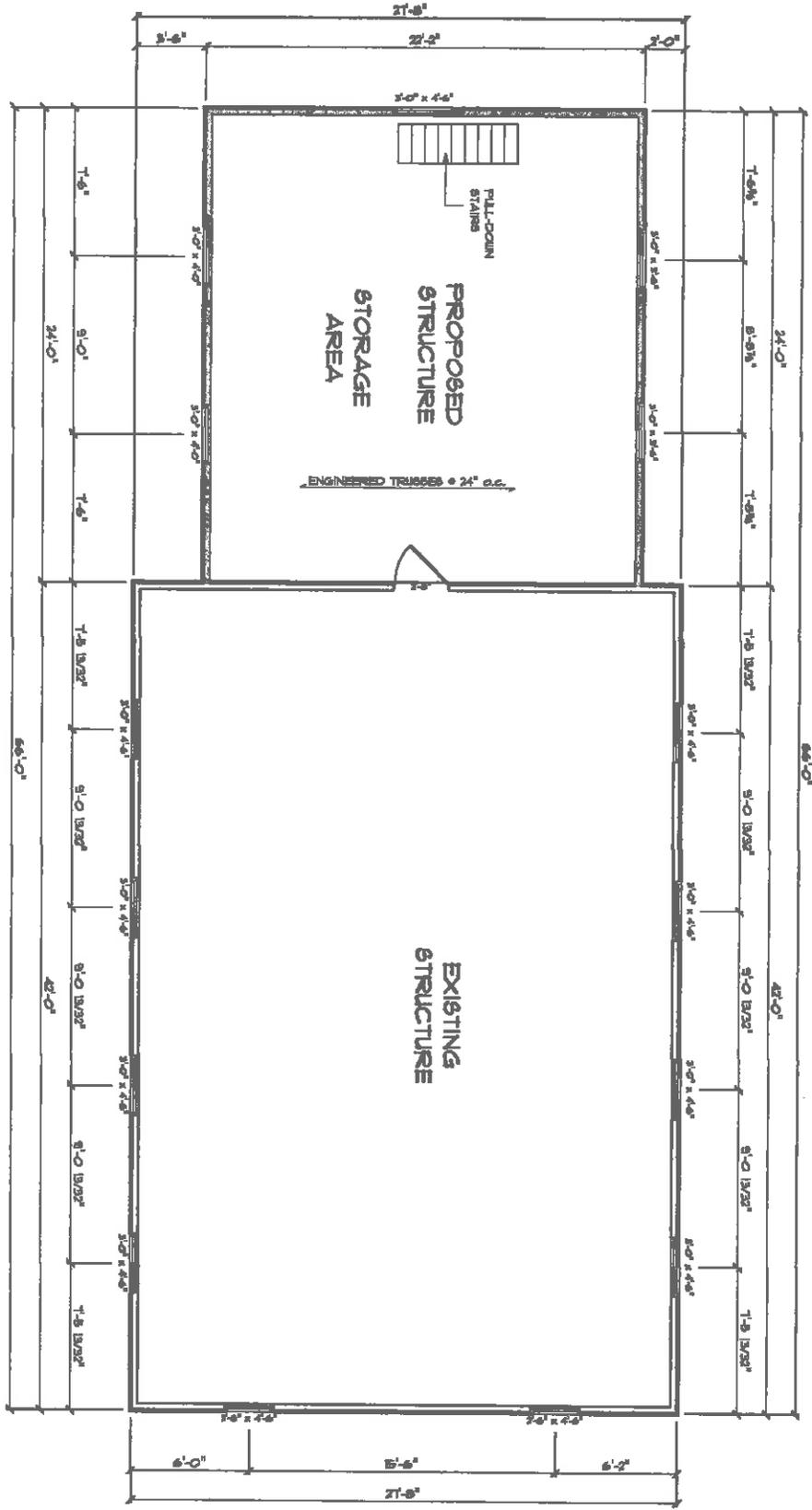
CADWORKS CONSULTING, INC.
6025 PEBBLEBROOK LN, #181
KENT, OH. 44240
330-676-6785
ASD

Ryan Residence-Remodel
486 Bath Hills Blvd Bath Township
Ohio

These drawings are for design purposes only, responsibility for construction rests with contractor. All dimensions are approximate and may vary due to construction and architectural variations. All symbols shown are representations. All elevation views are the drafter's concept and may vary. Builder shall make any necessary field adjustments that may be required.

SCALE	7/20/2016
DRAWN BY	RPS
REVISID	
DRAWING: MAIN FLOOR PLAN-PROPOSED	

Second Floor-Proposed
SCALE: 1/4" = 1'-0"



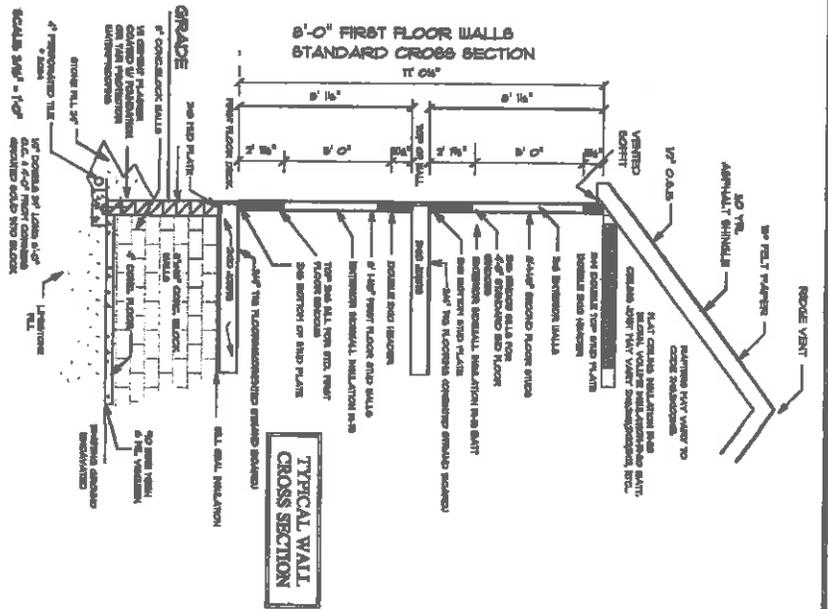
CADWORKS CONSULTING, INC.
6025 PEBBLEBROOK LN, #181
KENT, OH, 44240
330-678-6785
A.E. BD.

Ryan Residence-Remodel
488 Bath Hills Blvd Bath Township
Ohio

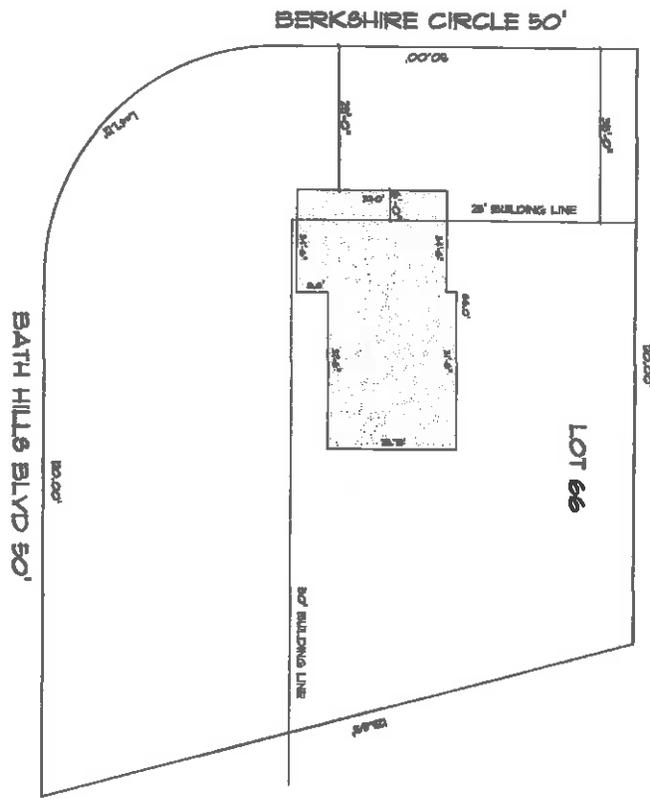
These drawings are for design purposes only, responsibility for construction shall rest with contractor. All dimensions are approximate and may vary due to construction and architectural variations. All symbols shown are representations. All elevation views are the architect's concepts and may vary. Builder shall make any necessary field adjustments that may be required.

SCALE	1/20/2016
DRAWN BY	NFB
REVISION	
DRAWING	SECOND FLOOR-PROPOSED

CROSS SECTION 8' 2 STORY STD-CRAWL
 SCALE: 1/4" = 1'-0"



Site Plan
 SCALE: 0.05" = 1'-0"



CADWORKS CONSULTING, INC.
 6028 PEBBLEBROOK LN, #181
 KENT, OH. 44240
 330-676-6785
ABD

Ryan Residence-Remodel
 466 Bath Hills Blvd Bath Township
 Ohio

These drawings are for design purposes only, responsibility for construction shall rest with the contractor. All dimensions are approximate and may vary due to construction and structural variations. All symbols shown are representations. All elevation views are the drafter's concept and may vary. Builder shall make any necessary field adjustments that may be required.

SCALE	1/20/2016
DRAWN BY RFB	REVISED
DRAWING:	DETAIL SET

Akron Beacon Journal



Publication Name:
Akron Beacon Journal

Publication URL:

Publication City and State:
Akron, OH

Publication County:
Summit

Notice Popular Keyword Category:

Notice Keywords:
Bath Township

Notice Authentication Number:
201608150713316238744
1255898914

Notice URL:

Notice Publish Date:
Friday, August 12, 2016

Notice Content

08/13/2016 Notice of Public Hearing Notice is hereby given that the Bath Township Board of Zoning Appeals will hold a public hearing at the Bath Township Administrative Offices, 3864 W. Bath Road, Bath, Ohio on Tuesday, August 23, 2016 at 7:00 p.m. for the appeal of: (1) Untable Case No. BZA-16-11, Carnen Girves of Custom Gardens and Landscape requesting variance from Article 13, Section 1309-A-1 for secondary sign. Property is located at 2368 N. Cleveland-Massillon Road in the B-1 Business District. (2) Case No. BZA-16-14, Steve and Stacie Ryan requesting variance from Article 5, Section 504-B, Table 504-1 to reduce the required front yard setback a for an addition. Property is located at 498 Bath Hills Boulevard in the R-3 Residential District. Applications are on file at the Township Administrative Offices and available for viewing. All meetings are open to the public William J. Funk Jr. Zoning Inspector/ Administrator AUG 13

[Back](#)