



Bath Township Zoning

Summit County, Ohio
3864 West Bath Road - P.O. Box 1188 - Bath, Ohio - 44210-1188
Phone: 330.666.4007 - Fax: 330.666.0305
www.bathtownship.org

Zoning Variance Application

For office use only:	ARC File No.:	BZA File No.:	16-07
Associated permits:			

Applicant Data

Name: Nora Faugliano
 Company Name: Highland Construction
 Address: 17535 So. Miles Cleveland 44128
 Telephone No.: 216.581.5809 Email: highlandconstruction3@gmail.com

Property Data

Zoning District: (circle one) R-1 **R-2** R-3 R-4 B-1 B-2 B-3 B-4 B-5
 Corner Lot: Yes No Note: Corner lots are required to meet the front setback on both streets.
 Property Address: 2080 N. Medina Line Rd. Parcel No.: 040-7062
 Allotment Name: _____ Lot No.: _____
 Owner(s): Larry and Jacki Hudnall
 Owner Address: 2080 N. Medina Line Rd.
 Telephone No.: 330.472.4030

Variance(s) Requested

Below list the specific section from the Zoning Resolution from which the variance is being sought, a description of each variance being sought, and explain the practical difficulty justifying the application for each variance being sought. The Zoning Resolution is available online at www.bathtownship.org through the zoning link.

1. Section: TOPD-17-C Description: 4' Fence around pool

Practical Difficulty: Pond and large size of lot make it

difficult to enclose pool with fence, propose to use
 2. Section: _____ Description: an automatic safety cover as barrier

in lieu of fence

Practical Difficulty: _____



**HIGHLAND
CONSTRUCTION**

**17535 South Miles
Cleveland, OH 44128
(216) 581-5809**

Attn: City of Bath Zoning

Please give consideration to allowing a swimming pool at the Hudnall Residence (2086 N. Medina Line Road, Bath) to be constructed without a fence.

We understand that we are out of compliancy on this issue. However, we plan to use a Automatic Pool Cover on the pool. This Cover meets all ASTM guidelines and will act as a better barrier to the water than a fence can. Additionally, we feel that the large size of the lot and existing body of water on the lot that are not currently fenced in, create a unique situation.

Thank you for your consideration.

Nora Gagliano

Highland Construction



BATH TOWNSHIP

Summit County, Ohio

April 5, 2016

**Bath Township
Board of Zoning Appeals
Case No. BZA-16-07**

Notice is hereby given that the Bath Township Board of Zoning Appeals will hold a public hearing at the Bath Township Administrative Offices, 3864 W. Bath Road, Bath, Ohio on Tuesday, April 19, 2016 at 7:00 PM for the appeal of **Case No. BZA-16-07**, Nora Gagliano of Highland Construction, 17535 S. Miles Road, Cleveland requesting variance from Article 7, Section 701-D-17-C to use an automatic safety cover as a barrier in lieu of the required fencing for a swimming pool. Property is located 2086 N. Medina Line Road in the R-2 Residential District.

This message is for the purpose of giving abutting property owners and other interested parties a notice of such hearing. However, this hearing is not limited to those persons receiving a copy of this notice. If you know of any property owners or affected neighbors who are interested and have not received a copy of this notice, please have them contact the undersigned.

Applicant or agent for said application must be present for this meeting.

Sincerely,

Nanci L. Noonan

Nanci L. Noonan
Zoning Administrative Assistant

cc: Board of Zoning Appeals (7)
File
Applicant
Larry and Jacki Hudnall, 2083 N. Medina Line road, Akron, OH 44333
Philip Slaght, 2070 N. Medina Line road, Akron, OH 44333
Charles Gray, 4549 Rock Ridge Lane, Akron, OH 44333
Kathryn Antalvari, 2180 N. Medina Line road, Akron, OH 44333
James Schrank, 2075 N. Medina Line road, Akron, OH 44333
Joseph Stella, 2134 N. Medina Line road, Akron, OH 44333
Wendy Padgett, 2040 N. Medina Line road, Akron, OH 44333

SUBMIT A CLASSIFIED AD



- Phone - Call 330-665-0000 from 8:30-5 Monday - Friday
- Mail - Use the form on the last page of classifieds
- Fax - Anytime 330-665-9590
- In person - Visit us at 3075 Smith Rd., Suite 204 in Fairlawn Monday - Friday between 8:30 - 5

DEADLINE

Classified ads must be received by Tuesday at noon the week of publication.



PLEASE REMEMBER
THAT OUR NEXT DEADLINE
FOR ALL CLASSIFIED
ADVERTISING IS THIS COMING
TUESDAY

CLA

LEGAL NOTICES

Notice of Public Hearing

Notice is hereby given that the Bath Township Board of Zoning Appeals will hold a public hearing at the Bath Township Administrative Offices, 3084 W. Bath Road, Bath, Ohio on Tuesday, April 19, 2016 at 7:00 p.m. for the appeal of:

(1) Untable Case No. BZA-16-03, Tony Umna, 6395 Chittenden Road, Hudson, requesting variance from Article 8, Section 802-C-1-A to create new impervious surfaces within the riparian setback. Property is located at Parcel #0405384 on Granger Road.

(2) Case No. BZA-16-05, Tony Umna of DunRite Construction, 6395 Chittenden Road, Hudson, requesting variances from Article 8, Section 802 to build on steep slopes and from Section 801-E to exceed the required height for a retaining wall. Property is located at 4440 Rock Ridge Lane in the R-2 Residential District.

(3) Case No. BZA-16-06, John and Emily Bernatovitz, 1000 Robinwood Hills Drive, requesting a Conditional Use per Article 7, Section 701-B-2 for an accessory dwelling unit. Property is located at 1000 Robinwood Hills Drive in the R-2 Residential District.

(4) Case No. BZA-16-07, Nora Gagliano of Highland Construction, 17535 South Miles Road, Cleveland, requesting variance from Article 7, Section 701-D-17-C to use an automatic safety cover as a barrier in lieu of the required fencing for a swimming pool. Property is located at 2086 N. Medina Line Road in the R-2 Residential District.

Applications are on file at the Township Administrative Offices and available for viewing. All meetings are open to the public.

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THE HUDNALL RESIDENCE

2086 N Medina Line Rd
Bath, OH 44333



17535 South Miles Rd.
Cleveland, Ohio 44128
216.581.5808 tel
WWW.HIGHLANDPOOLSANDSPAS.COM

POOL SPECIFICATIONS

POOL SIZE: 18'X36'

POOL DESIGN: RECTANGLE, 31" TO 70" IN DEPTH.

CONSTRUCTION METHOD: PNEUMATICALLY APPLIED CONCRETE WITH 10" THICK WALLS, 8" THICK FLOOR, 3" STONE SUB-BASE, 1/2" GRADE 40 REINFORCEMENT STEEL, EVERY 12" BOTH VERTICALLY AND HORIZONTALLY.

SITE GRADING: SITE GRADING FOR IMMEDIATE POOL AND DECK INCLUDED.

STEPS: ONE SET OF CONCRETE STEPS LOCATED IN SHALLOW END OF POOL WITH CONTRASTING EDGING TILE INCLUDED, A REMOVABLE STAINLESS STEEL HANDRAIL WILL ACCOMPANY THE STEPS.

WATER WALL: (2) WATER SHEERS IN A 36' LONG, 2' TALL WALL, CENTERED ON THE LONG WALL OF THE POOL OPPOSITE SIDE OF THE HOUSE. THE WATER SHEERS WILL EACH BE 3' IN LENGTH, THE WATER WILL EXIT THE WALL DIRECTLY FROM UNDERNEATH THE COPING, A JANDY 1.5HP PUMP WILL BE USED FOR FEEDING THE FOUNTAINS, STONE VENEER FOR FACING ON BOTH SIDES, STONE IS TO BE CAPPED IN SANDSTONE COPING.

WATERLINE TILE: ONE ROW OF 6" X 6" FROST-RESISTANT WATERLINE TILE INCLUDED. (COLOR AND PATTERN SELECTION FROM HIGHLAND CONSTRUCTION SAMPLES).

COPING: SANDSTONE.

INTERIOR FINISH: DIAMOND BRITE STANDARD COLORS. COLORED PLASTER IS A NATURAL MATERIAL THAT DOES NOT PROVIDE A VISUALLY UNIFORM FINISH, IT WILL ALWAYS HAVE A SOMEWHAT MOTTLED LOOK AND WILL CHANGE OVER TIME.

DECK: PAVERS PATIO BY OTHER.

EQUIPMENT

AUTOMATIC WATERFILL: INCLUDED

PUMP: JANDY 1 HP STEALTH PUMP

FILTER: JANDY JS-100 SAND FILTER WITH A PUSH-PULL VALVE.

HEATER: ONE RAYPAK 285 BTU NATURAL GAS HEATER.

CHEMICAL FEEDER: ONE PENTAIR EROSION FEEDER.

MAIN DRAIN: TWO 8" MAIN DRAINS WITH HYDROSTATIC RELIEF VALVE INCLUDED.

SKIMMERS: TWO AUTOMATIC SURFACE SKIMMERS.

RETURN WATER INLETS: FOUR IN WALL RETURNS INCLUDED.

UNDERWATER LIGHTING: (2) TWO COLOR CHANGING LED LIGHTS

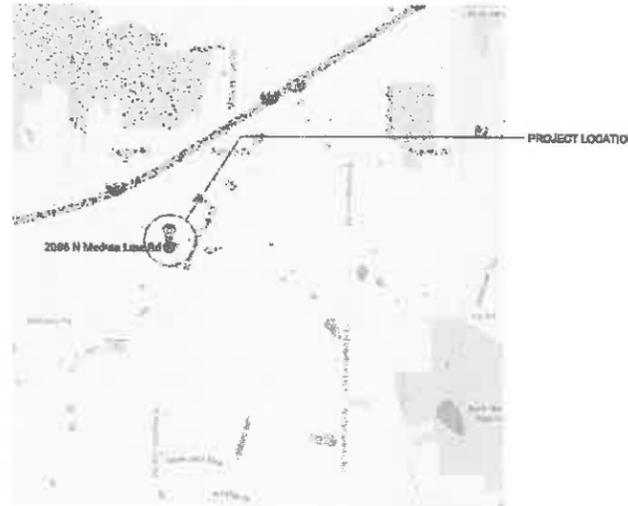
AUTOMATIC POOL COVER: AUTOMATIC POOL COVER AND ALL ASSOCIATED MATERIALS INSTALLED BY OTHER.

POLARIS POOL CLEANER: FURNISH AND INSTALL A POLARIS AUTOMATIC POOL CLEANER WITH A SEPARATE BOOSTER PUMP AND DEVOTED PIPE LINE FROM POOL TO EQUIPMENT PAD, ONLY TO BE RUN WHILE POOL IS FILTERING

OPTIONAL EQUIPMENT AND FEATURES

DELUXE BASKETBALL SET BY INTER-FAB INSTALLED

PROJECT LOCATION



DRAWING INDEX

C0.0 COVER SHEET AND NOTES
A1.0 SITE PLAN
A1.1 POOL AND DECK PLAN LAYOUTS
A2.0 SECTIONS AND DETAILS

ABBREVIATION LIST

DIA.	DIAMETER
EQ.	EQUAL
MAX.	MAXIMUM
MIN.	MINIMUM
SIM.	SIMILAR
TYP.	TYPICAL
U.N.C.	UNLESS NOTED OTHERWISE

SYMBOL LEGEND

	SEE ELEVATION Y, SHEET SX, X
	SEE SECTION Y, SHEET SX, X
	SEE DETAIL Y, SHEET SX, X
	SEE SECTION OR ELEVATION Y-Y, SAME DETAIL
	SEE ELEVATION Y-Y CLOSE UP, SAME DETAIL

GENERAL NOTES

- CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODES AND REGULATIONS, UNLESS SPECIFICALLY STATED OTHERWISE, THE MOST RECENT EDITION OF ALL CODES AND STANDARDS SHALL APPLY.
- DIMENSIONS PROVIDED ARE APPROXIMATE BASED, THE CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AS NECESSARY.

Project

HUDNALL POOL AND PATIO

Client

**HUDNALL RESIDENCE
2086 N. MEDINA LINE
ROAD
BATH, OH 44333**

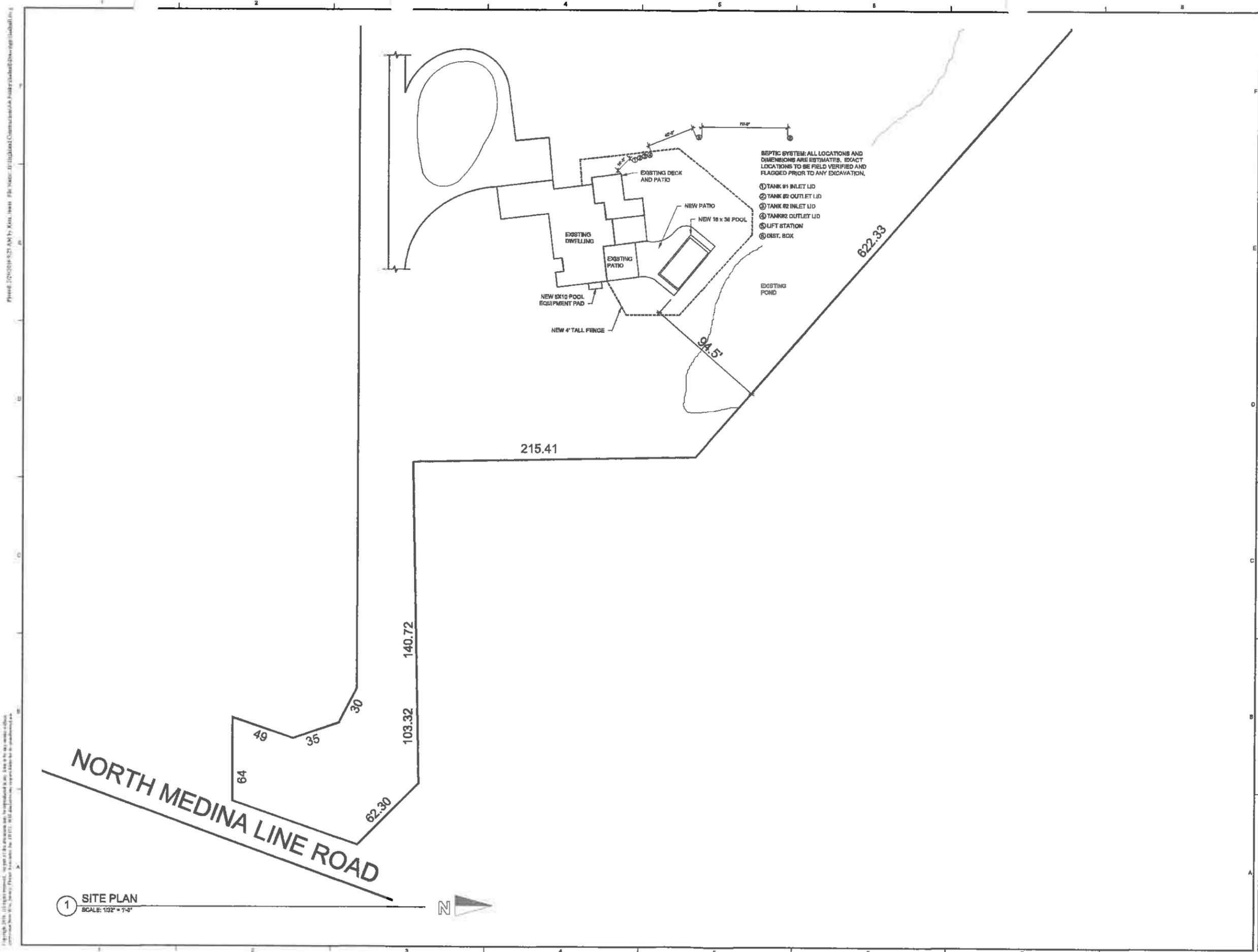
Mark	Date	Description
	24 FEBRUARY 2016	
	JMR	
	EAS	
	AS NOTED	

COVER SHEET

Sheet Title

Sheet No. **C0.0**

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 17635 South Miles Rd.
 Cleveland, Ohio 44128
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Consultants

Project
HUDNALL POOL AND PATIO

Client
**HUDNALL RESIDENCE
 2086 N. MEDINA LINE ROAD
 BATH, OH 44333**

Mark	Date	Description

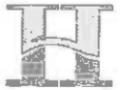
Date: 24 FEBRUARY 2016
 Drawn: JMR
 Checked: EAS
 Scale: AS NOTED

SITE PLAN
 Sheet Title
A1.0
 Sheet No.

1 SITE PLAN
 SCALE: 1/32" = 1'-0"



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CONSTRUCTION**

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Contents

Project

**HUDNALL POOL
AND PATIO**

Client

**HUDNALL RESIDENCE
2086 N. MEDINA LINE
ROAD
BATH, OH 44333**

Mark Date Description

Date 24 FEBRUARY 2016

Drawn JMR

Checked EAS

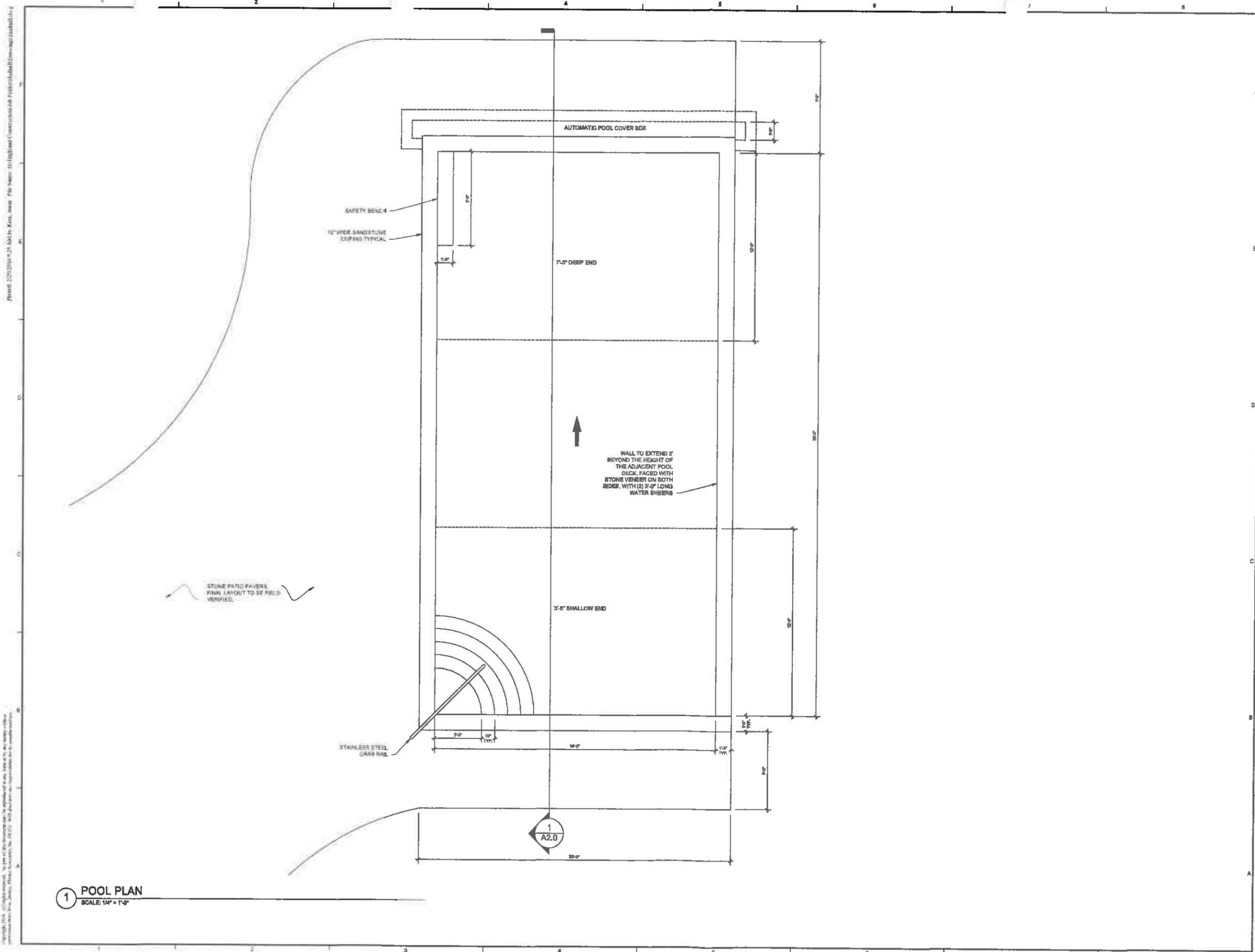
Scale AS NOTED

Sheet Title

POOL PLAN

Sheet No.

A1.1



1 POOL PLAN
SCALE: 1/4" = 1'-0"

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Consultant

Project

**HUDNALL POOL
AND PATIO**

Client

**HUDNALL RESIDENCE
2086 N. MEDINA LINE
ROAD
BATH, OH 44333**

Mark	Date	Description

Date 24 FEBRUARY 2018

Drawn JMR

Checked EAS

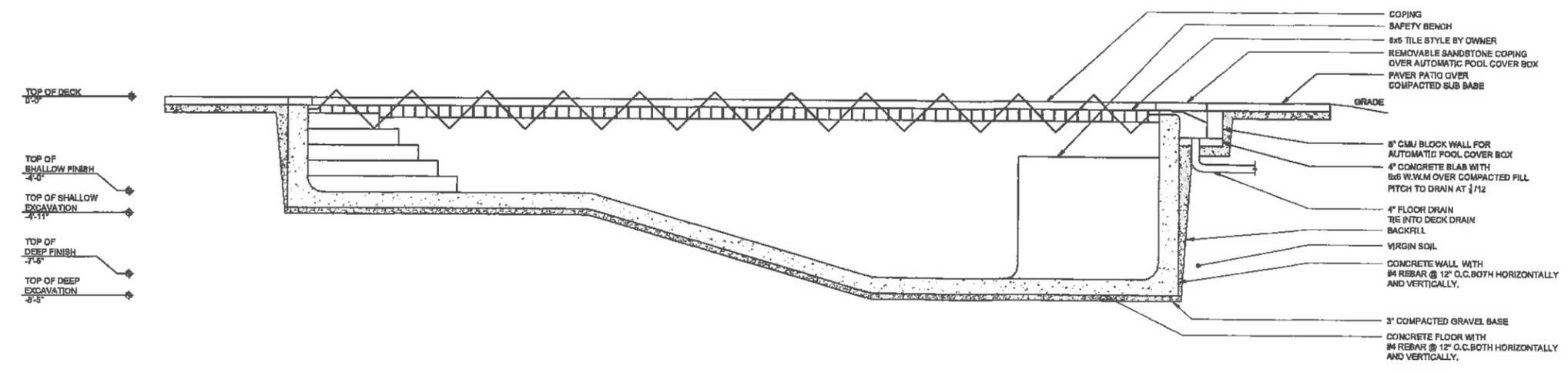
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POOL SECTIONS

Sheet Title

A2.0

Sheet No.



1 LONGITUDINAL SECTION
SCALE: 3/8" = 1'-0"

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