

4/19



Bath Township Zoning

Summit County, Ohio
3864 West Bath Road - P.O. Box 1188 - Bath, Ohio - 44210-1188
Phone: 330.666.4007 - Fax: 330.666.0305
www.bathtownship.org

BATH TOWNSHIP
RECEIVED

MAR 15 P 2 19

Conditional Use Application

For office use only:	ARC File No.:	BZA File No.:	16-06
Associated permits:			

Applicant Data

Name: JOHN AND EMILY BERNATOVICZ

Company Name: _____

Address: 1000 ROBINWOOD HILLS DR., AKRON, OH 44333

Telephone No.: 330-670-1112 Email: john-bernatovicz@yahoo.com

Property Data

Zoning District: (circle one) R-1 R-2 R-3 R-4 B-1 B-2 B-3 B-4 B-5

Corner Lot: Yes No Note: Corner lots are required to meet the front setback on both streets.

Property Address: 1000 ROBINWOOD HILLS DRIVE Parcel No.: 0403423

Allotment Name: ROBINWOOD HILLS Lot No.: 18

Owner(s): EMILY DODD BERNATOVICZ TRUSTEE

Owner Address: 1000 ROBINWOOD HILLS DR, AKRON, OH 44333

Telephone No.: 330-670-1112 or 330-819-1126

Conditional Use(s) Requested

Below list the specific section of the Zoning Resolution referencing the conditional use being sought as well as a description of each use. The Zoning Resolution is available online at www.bathtownship.org through the zoning link.

1. Section: 701-D(2) Description: IN-LAW SUITE / HOME OFFICE

2. Section: _____ Description: _____

3. Section: _____ Description: _____

Project Remodel / Construction Description (1000 Robinwood Hills Drive, Akron, OH 44333):

John and Emily Bernatovicz will be remodeling their home in order to add an in-law suite / home office, three season room, enhanced mud room, screen porch and front porch entrance. We will be re-designing our roof-line, pitch, and roof in order to improve rain and ice draining as well as bettering the curb-appeal of the property. The project includes a reface of the exterior walls.

We have decided to complete this project as we feel that Robinwood Hills is the best neighborhood in the Akron area. Plus, several other neighbors have done significant improvements on their homes which will increase property values in our area and neighborhood. With increased family responsibilities and a growing, home-based business, we are excited for the end result. Finally, we will be contracting with Boggs Custom Homes to complete the work, and the owner, Jeff Boggs, lives three houses down from our property.



BATH TOWNSHIP

Summit County, Ohio

April 5, 2016

**Bath Township
Board of Zoning Appeals
Case No. BZA-16-06**

Notice is hereby given that the Bath Township Board of Zoning Appeals will hold a public hearing at the Bath Township Administrative Offices, 3864 W. Bath Road, Bath, Ohio on Tuesday, April 19, 2016 at 7:00 PM for the appeal of **Case No. BZA-16-06**, John and Emily Bernatovicz, 1000 Robinwood Hills Drive, requesting conditional use per Article 7, Section 701-D-2 for an accessory dwelling unit. Property is located 1000 Robinwood Hills Drive in the R-2 Residential District.

This message is for the purpose of giving abutting property owners and other interested parties a notice of such hearing. However, this hearing is not limited to those persons receiving a copy of this notice. If you know of any property owners or affected neighbors who are interested and have not received a copy of this notice, please have them contact the undersigned.

Applicant or agent for said application must be present for this meeting.

Sincerely,

Nanci L. Noonan

Nanci L. Noonan
Zoning Administrative Assistant

cc: Board of Zoning Appeals (7)
File
Applicant
Robert Ormsby, Jr., Trustee, 4831 Barnhill Drive, Akron, OH 44333
William & Marjorie Gelatka, 1070 Nina Lane, Akron, OH 44333
Robert Carny, 1091 Nina Lane, Akron, OH 44333
Hershel Grinter, 1061 Nina Lane, Akron, OH 44333
Christopher Reuscher, 1010 Robinwood Hills Drive, Akron, OH 44333
Patricia Folkerth, 1018 Robinwood Hills Drive, Akron, OH 44333
Colleen Smith, 994 Robinwood Hills Drive, Akron, OH 44333
Daniel and Donna Kohler, 1026 Robinwood Hills Drive, Akron, OH 44333
Elaine Bologna, 1005 Robinwood Hills Drive, Akron, OH 44333
Marcia Hirsh, 1037 Robinwood Hills Drive, Akron, OH 44333
Alexandru Bardan, 1037 Robinwood Hills Drive, Akron, OH 44333
Shelley Mattefs, 986 Robinwood Hills Drive, Akron, OH 44333
Jeffrey Boggs, 978 Robinwood Hills Drive, Akron, OH 44333
Ian Alexander, 967 Robinwood Hills Drive, Akron, OH 44333

SUBMIT A CLASSIFIED AD



- Phone - Call 330-665-0988 from 8:30-5 Monday - Friday
- Mail - Use the form on the last page of classifieds
- Fax - Anytime 330-665-9590
- In person - Visit us at 3075 Smith Rd., Suite 204 in Fairlawn Monday - Friday between 8:30 - 5

DEADLINE

Classified ads must be received by Tuesday at noon the week of publication.



PLEASE REMEMBER THAT OUR NEXT DEADLINE FOR ALL CLASSIFIED ADVERTISING IS THIS COMING TUESDAY

CLA

LEGAL NOTICES

Notice of Public Hearing

Notice is hereby given that the Bath Township Board of Zoning Appeals will hold a public hearing at the Bath Township Administrative Offices, 3884 W. Bath Road, Bath, Ohio on Tuesday, April 19, 2016 at 7:00 p.m. for the appeal of:

(1) Untable Case No. BZA-16-03, Tony Umma, 6395 Chittenden Road, Hudson, requesting variance from Article 8, Section 802-C-1-A to create new impervious surfaces within the riparian setback. Property is located at Parcel #D406384 on Granger Road.

(2) Case No. BZA-16-05, Tony Umma of DunRite Construction, 6395 Chittenden Road, Hudson, requesting variances from Article 8, Section 802 to build on steep slopes and from Section 801-E to exceed the required height for a retaining wall. Property is located at 4440 Rock Ridge Lane in the R-2 Residential District.

(3) Case No. BZA-16-06, John and Emily Bernatovitz, 1000 Robinwood Hills Drive, requesting a Conditional Use per Article 7, Section 701-B-2 for an accessory dwelling unit. Property is located at 1000 Robinwood Hills Drive in the R-2 Residential District.

(4) Case No. BZA-16-07, Nora Gagliano of Highland Construction, 17535 South Miles Road, Cleveland, requesting variance from Article 7, Section 701-D-17-C to use an automatic safety cover as a barrier in lieu of the required fencing for a swimming pool. Property is located at 2086 N. Medina Line Road in the R-2 Residential District.

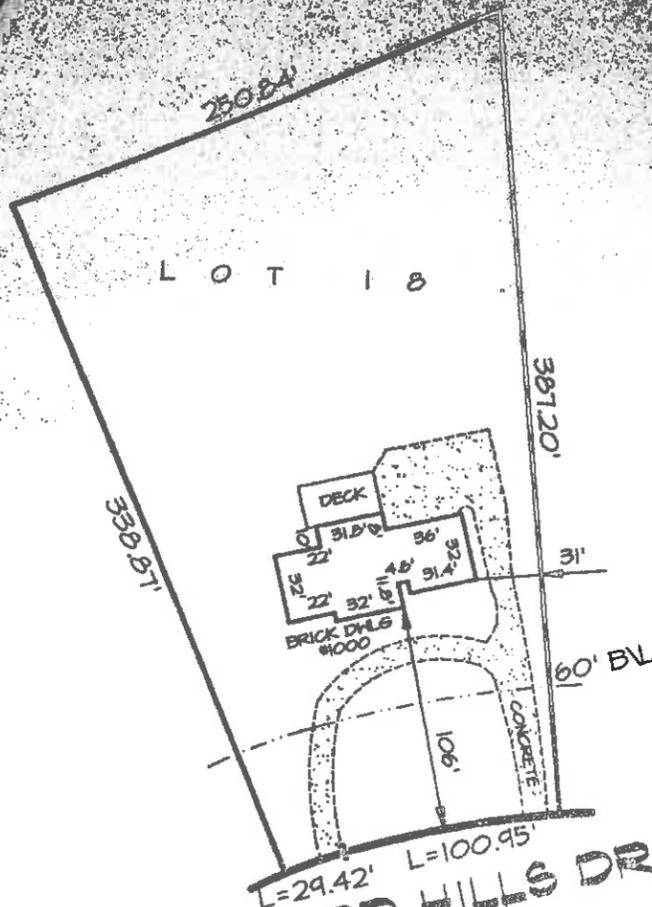
Applications are on file at the Township Administrative Offices and available for viewing. All meetings are open to the public.

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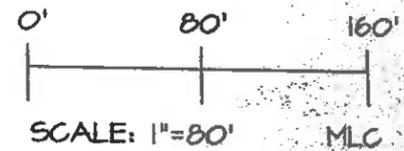
CAMPBELL & ASSOCIATES, INC.
SURVEYING - ENGINEERING

(330) 945-4117
Fax: (330) 945-4140
1923 Bailey Road
Suite A
Cuyahoga Falls, OH 44221
http://www.campbellsurvey.com

MORTGAGE LOCATION SURVEY



ROBINWOOD HILLS DR 60'



Address 1000 Robinwood Hills Drive

State of Ohio, County of Summit

Township of Bath

New Owner John Bernatovicz and Emily Dodd Bernatovicz

Allotment: Robinwood Hill

Plat Book: 89 Pages: 65-68

Client Order No. 380535

Date April 14, 2003

Present Owner Jeff Warren and Gina Marie Warren

C & A Order No.
CF135509

This is to certify to Wells Fargo Home Mortgage Inc and/or Commerce 1 Title Agency that a visual inspection of the property and buildings shown (if any) has been made and there are no apparent encroachments or visible easements unless otherwise shown. This service was not performed for the purpose of establishing boundary lines, and is not to be used for that purpose.

This Mortgage Location Survey has been prepared in accordance with Chapter 4733-38, Ohio Administrative Code, and is not a boundary survey pursuant to Chapter 4733-37, Ohio Administrative Code

Stephen P. Campbell

Stephen P. Campbell - Reg. Surveyor No. 7330

BOEGGS CUSTOM HOMES

250.84'

LOT 18



387.20'

338.87'

Addition →

DECK



31'

40'

BRICK DWLG #1000

60' BL

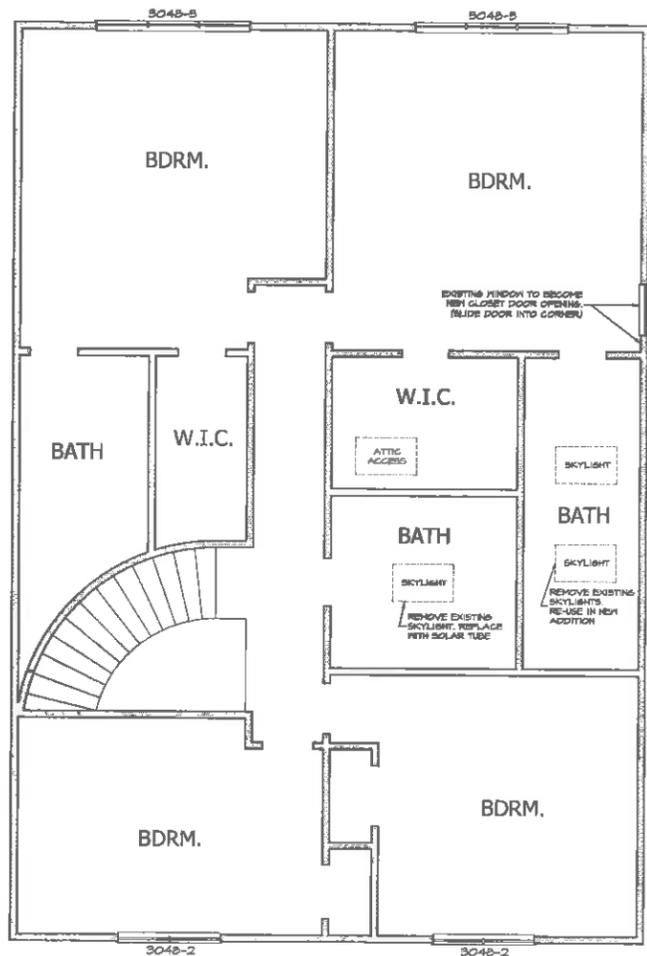
CONCRETE

106'

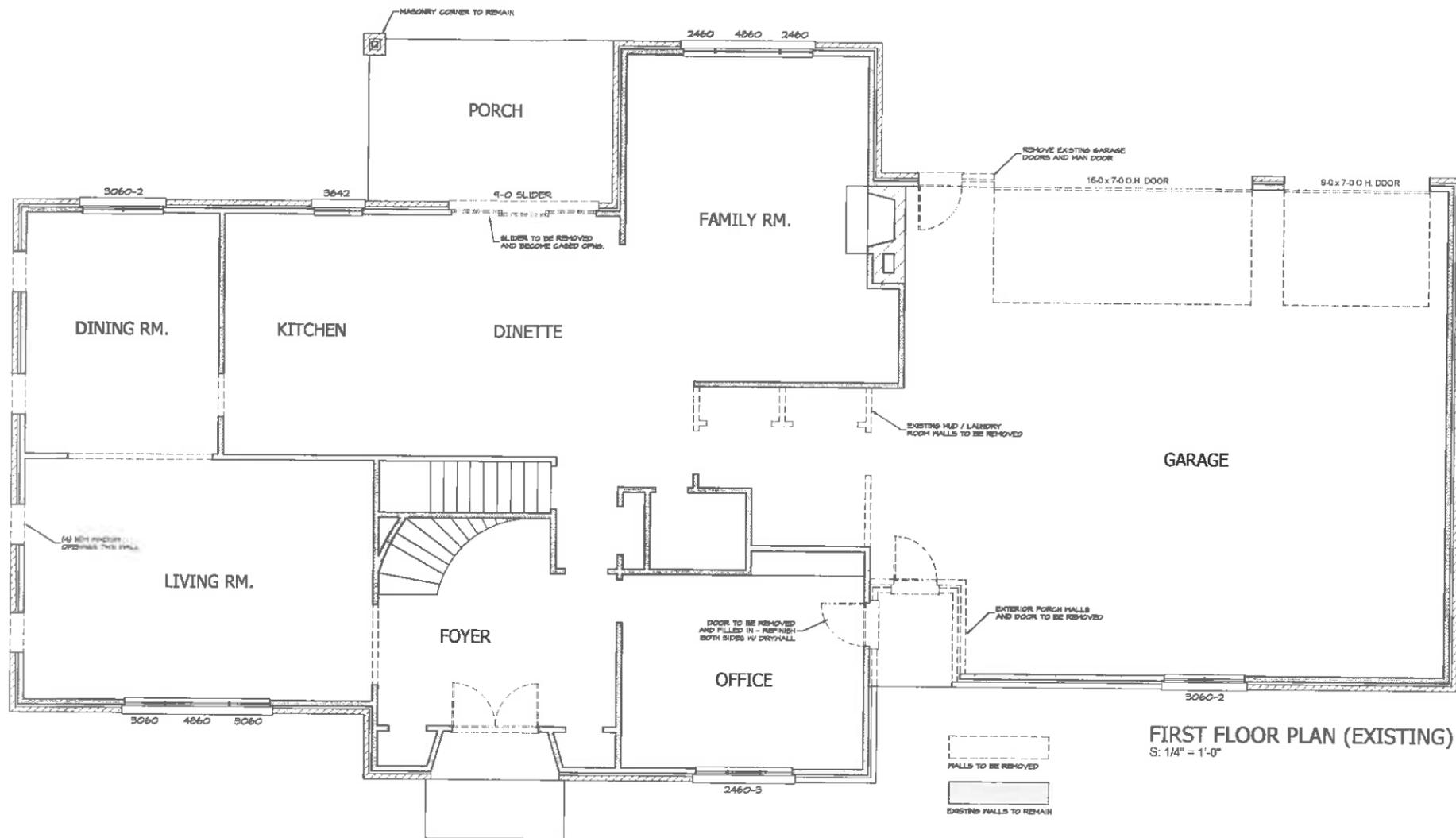
L=29.42' L=100.95'

1000 Robinwood Hills Dr.
Akron, Ohio 44333

ROBINWOOD HILLS DR



SECOND FLOOR PLAN (EXISTING)
S: 1/4" = 1'-0"



FIRST FLOOR PLAN (EXISTING)
S: 1/4" = 1'-0"

SEE SHEET C101 FOR GEN. CODE
REQUIREMENTS, DISCLAIMERS AND
GENERAL CONSTRUCTION NOTES

FOUNDATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

- 2x8 PRESSURE TREATED SILL PLATE WITH SILL SEALER
- 1/2" Ø x18" ANCHOR BOLTS @ 6'-0" o.c. AND 12" MAXIMUM FROM CORNERS AND WITH A MIN. OF 2 BOLTS PER PLATE PER RCO SECTION 403.1.6.
- EXTERIOR FOUNDATION INSULATION AS REQUIRED.
- R-30 BATT INSULATION BETWEEN FLOOR JOIST CAVITIES AT RIM.

FOOTINGS:

- ALL FOOTINGS SHALL EXTEND BELOW THE MINIMUM FROST LINE DEPTH OF 42" PER RCO SECTION 402.2.
 - (2)#4 REBAR CONTINUOUS THRU WALL FOOTERS.
 - ALL 8" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x16" CONTINUOUS POURED CONCRETE FOOTING.
 - ALL 12" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x20" CONTINUOUS POURED CONCRETE FOOTING.
 - ALL CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE A MINIMUM OF 8" BEARING AT EACH END.
- CENTER ALL FOOTINGS ON COLUMN CENTER LINES. REINFORCE EACH WAY AS FOLLOWS:
- | | |
|---------|-------|
| 24"x24" | (2)#4 |
| 30"x30" | (3)#4 |
| 36"x36" | (3)#4 |
| 42"x42" | (4)#4 |
| 48"x48" | (5)#4 |
| 60"x60" | (5)#5 |
| 72"x72" | (6)#5 |

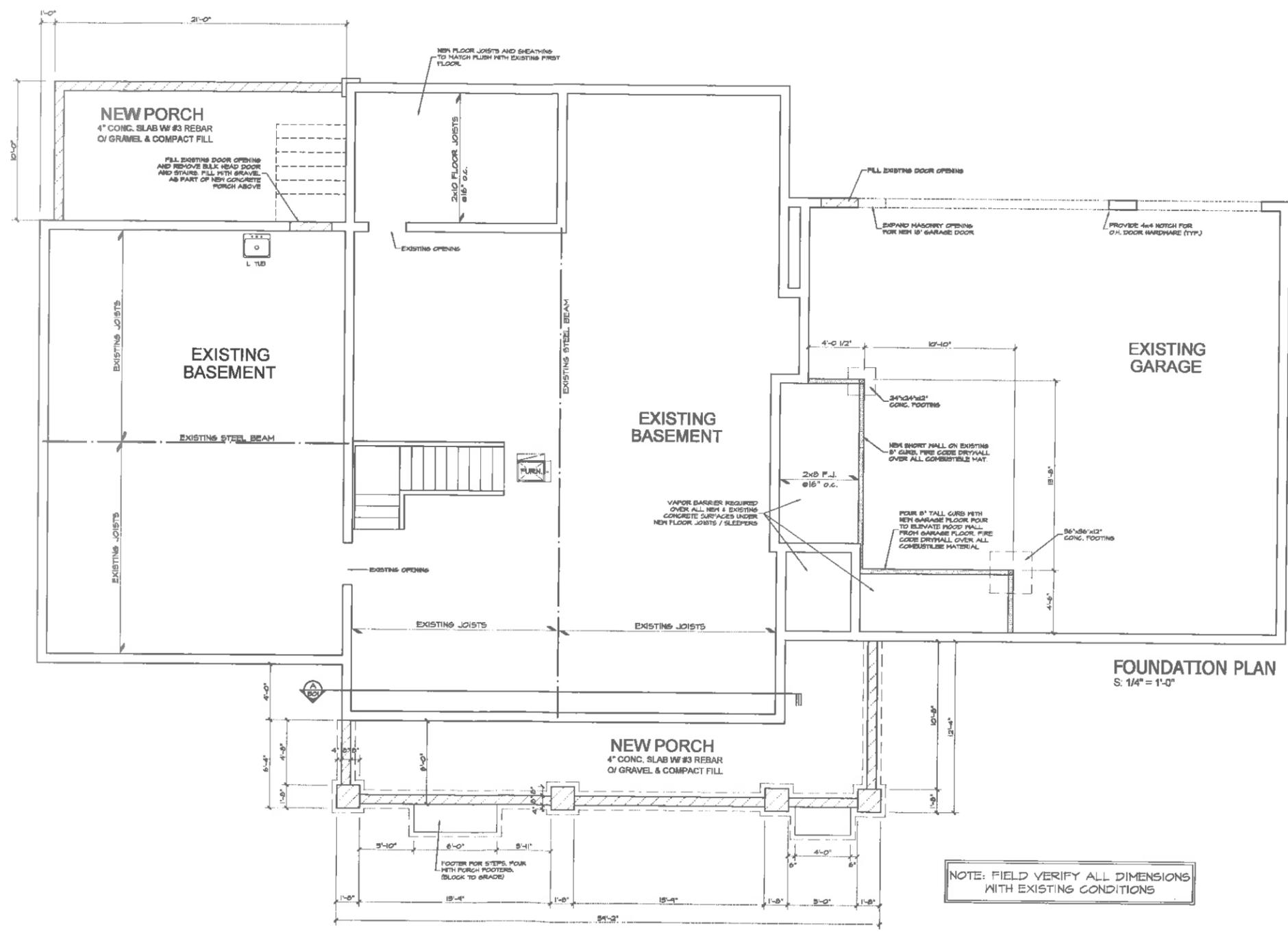
CRAWL SPACE VENTILATION:

CRAWL SPACE EXTERIOR VENTILATION OPENINGS MAY BE OMITTED WHEN CONTINUOUSLY OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 cfm FOR EACH 50 SQUARE FEET OF CRAWL SPACE FLOOR AREA.

POINT LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



NOTE: FIELD VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS

FIRST FLOOR NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

- ALL WALLS ARE DIMENSIONED STUD-TO-STUD.
- ALL INTERIOR WALLS ARE 3 1/2", EXTERIOR WALLS ARE 4" UNLESS OTHERWISE NOTED.
- ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED.
- SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.
- ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.
- ALL POSTS (■) SHALL BE A MINIMUM OF (3)2x4'S OR (2)2x6'S UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS
- POINT LOADS ARE REPRESENTED BY (●)

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

FIREPLACES:

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2013 RCO AND INSTALLED PER THE ORDINANCES SET FORTH THE BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.

WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 36" HORIZONTALLY & 60" VERTICALLY OF A TUB OR SHOWER MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

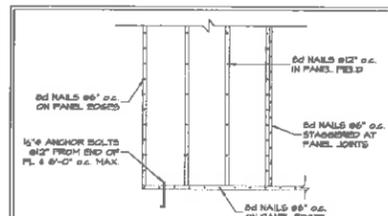
EGRESS REQUIREMENTS:

- MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"
- MINIMUM NET CLEAR OPENING HEIGHT.....24"
- MINIMUM NET CLEAR OPENING WIDTH.....20"
- MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7
- MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0
- REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

STAIR REQUIREMENTS:

- MINI. STAIR WIDTH EXCLUDING WALL HANDRAIL.....3'-0"
- MINIMUM TREAD DEPTH.....9"
- MAXIMUM RISER HEIGHT.....8 1/4"
- MAXIMUM VARIANCE IN RISER HEIGHT.....3/8"
- MINIMUM NOSING PROJECTION.....1"
- MINIMUM HEADROOM HEIGHT AT STAIR ANGLE.....6'-8"
- MINIMUM / MAXIMUM HANDRAIL HEIGHT.....34" / 38"
- MAXIMUM BALUSTER SPACING (CLEAR OPENING).....<4"
- MINIMUM GUARDRAIL HEIGHT AT STAIRS.....34"
- MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES.....36"
- MAXIMUM HAND GRIP WIDTH.....2 1/4"
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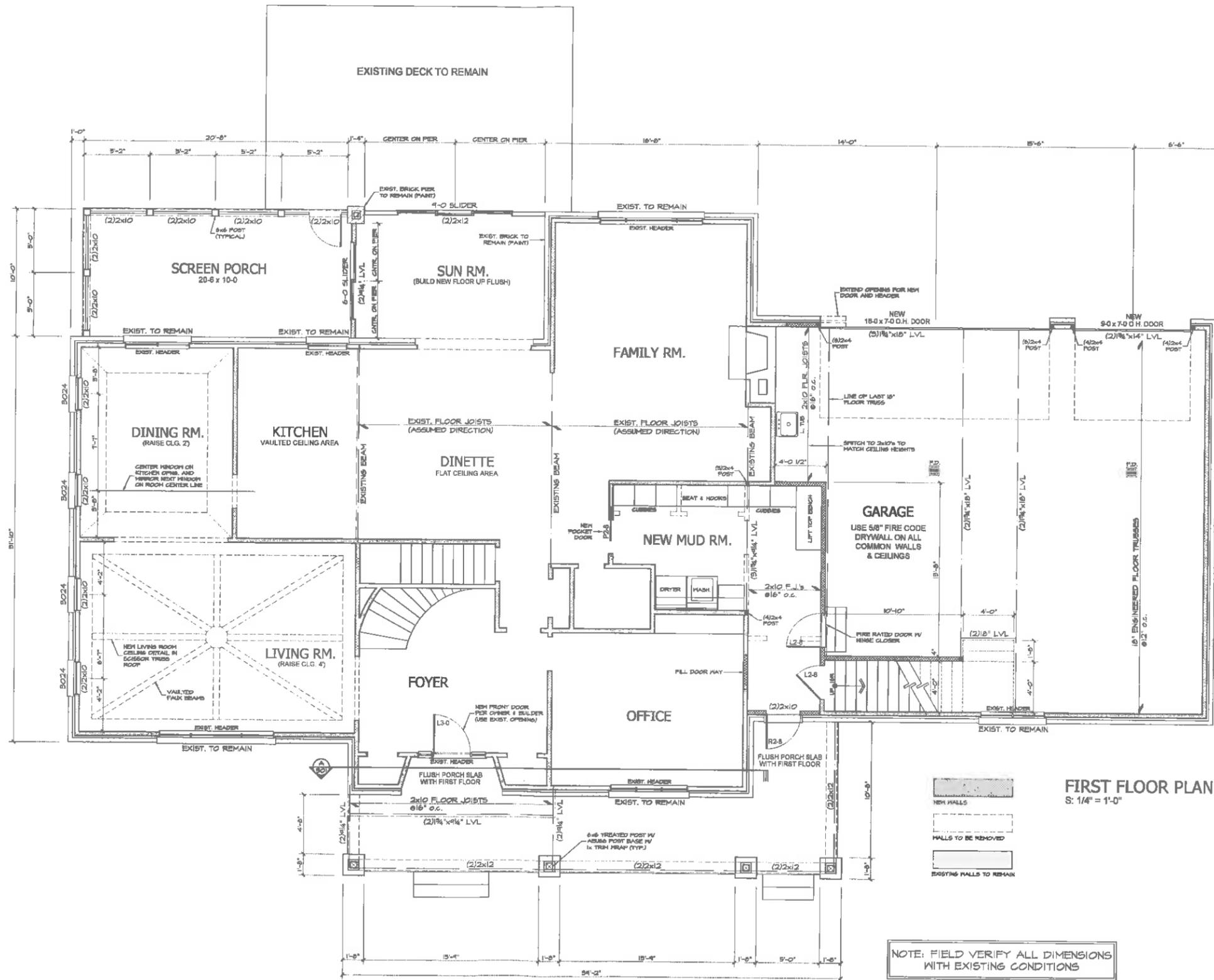
SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



METHOD CS-WSP (602.10.4)

- THIS IS FOR ALL EXTERIOR WALLS OF THE HOME U.N.O.
- EXTERIOR BRACED WALLS ARE ALL TO ALL BE CONTINUOUSLY SHEATHED WITH MIN 1/2" OSB OR PLYWOOD PER CODE.
- ATTACH PER TABLE 602.3(3)
- CONTINUOUSLY SHEATH PER SECTION 602.10.4.2
- MIN. PANEL LENGTHS PER TABLE 602.10.5
- PER TABLE 602.10.1.3 BRACED WALL LINE SPACING 80 FT. MAX WITH 3:1 DIAPHRAGM WIDTH TO DEPTH RATIO

BRACED WALL PANELS (NOT TO SCALE)



FIRST FLOOR PLAN
S: 1/4" = 1'-0"

NOTE: FIELD VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS



CONTACT:
J. KAPELA DESIGNS Inc.
44 Canton St. Hudson, Oh 44130
330.600.1999
www.jkapela.com

FINAL PLAN
02/21/2016 4:58:19 PM

BERNATOVICZ RESIDENCE
1000 BURNWOOD HILLS
BATH, OHIO
FIRST FLOOR PLAN

DATE
2014-07-31 LAYOUT BATH PLAN

1-21-16

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JOB # 1426

A102

SECOND FLOOR NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

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WINDOWS:

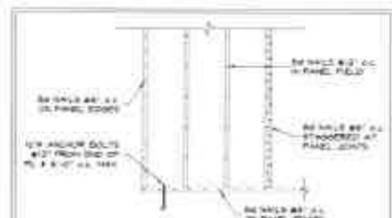
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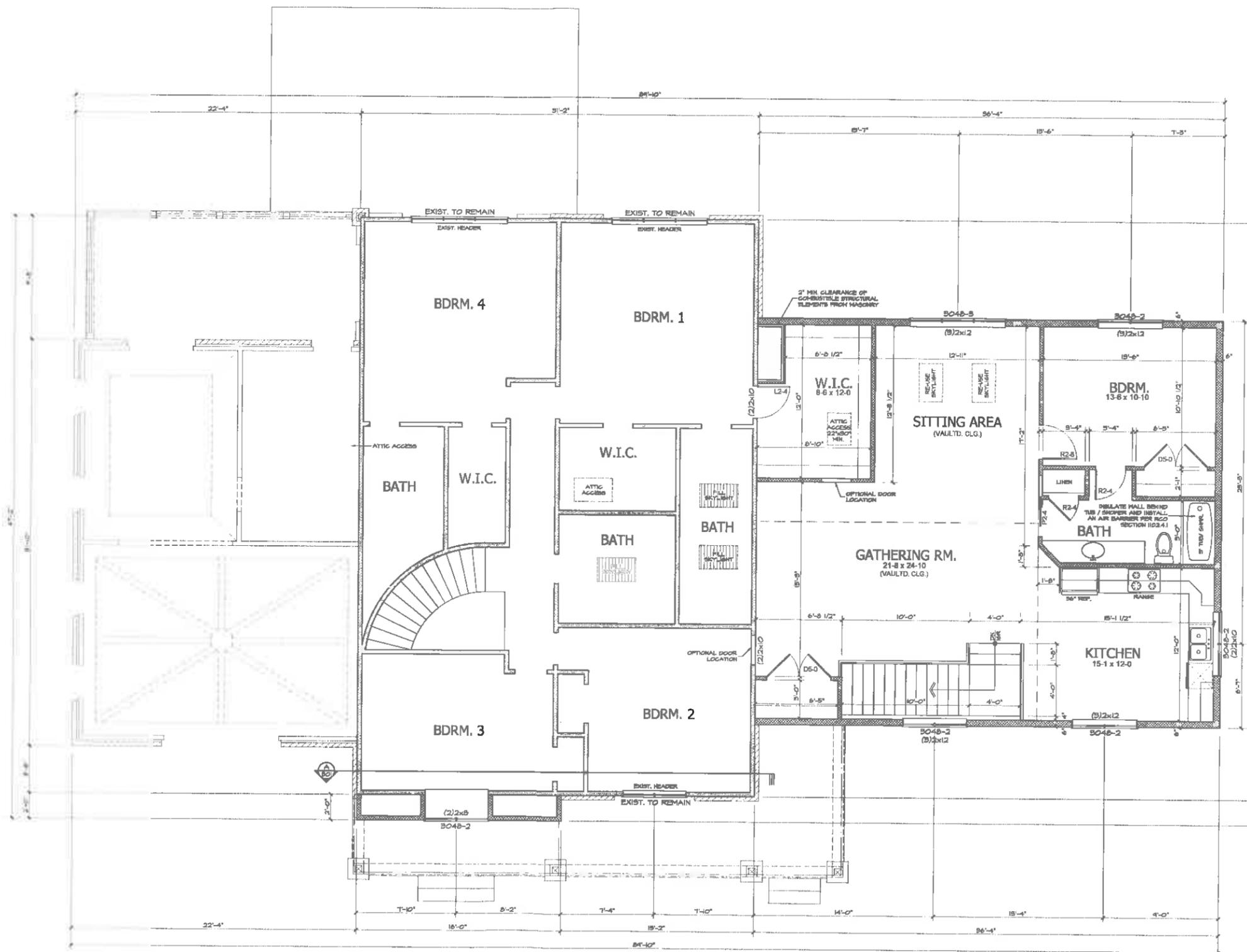
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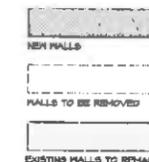
METHOD CS-WSP (602.10.4)

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- CONTINUOUSLY SHEATH PER SECTION 602.10.4.2
- MIN PANEL LENGTHS PER TABLE 602.10.5
- PER TABLE 602.10.1.3 BRACED WALL LINE SPACING 60 FT MAX WITH 3:1 DIAPHRAGM WIDTH TO DEPTH RATIO

BRACED WALL PANELS (NOT TO SCALE)



NOTE: FIELD VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS



SECOND FLOOR PLAN
 S: 1/4" = 1'-0"



CONTACT:
 J. KAPELA DESIGNS, INC.
 44 CHERRY ST. HUDSON, OH 44136
 330.850.1949
 www.jkapela.com

FINAL PLAN
 01/21/2016 4:34:19 PM

BERNATOVICZ RESIDENCE
 SECOND FLOOR PLAN

DATE
 2014-07-31 LAYOUT BATH PLAN

1-21-16

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 JOB # 1426

A103

ROOF NOTES

Reference sections 1051.3 and chapter 41 of the Residential Code of Ohio

SHINGLES:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. MINIMUM ROOF SLOPE NO LESS THAN 1/4" / FT. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 24" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.7.2.

ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

SHEATHING:

EXTERIOR WALLS & ROOF SHALL BE CONTINUOUSLY SHEATHED WITH MIN. 5/8" OSB OR PLYWOOD PER SECTION R602.10. NAILED W/ 8d NAILS AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS

TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT J. KAPELA DESIGNS, INC. IN ORDER TO UPDATE THE DRAWINGS.

OVER-LAY RAFTERS:

USE 2x4's @24" o.c. FOR SPANS UP TO.....6'-0"
 USE 2x6's @24" o.c. FOR SPANS UP TO.....9'-0"
 USE 2x8's @24" o.c. FOR SPANS UP TO.....12'-0"
 USE 2x10's @24" o.c. FOR SPANS UP TO.....15'-0"

LIVE LOADS:

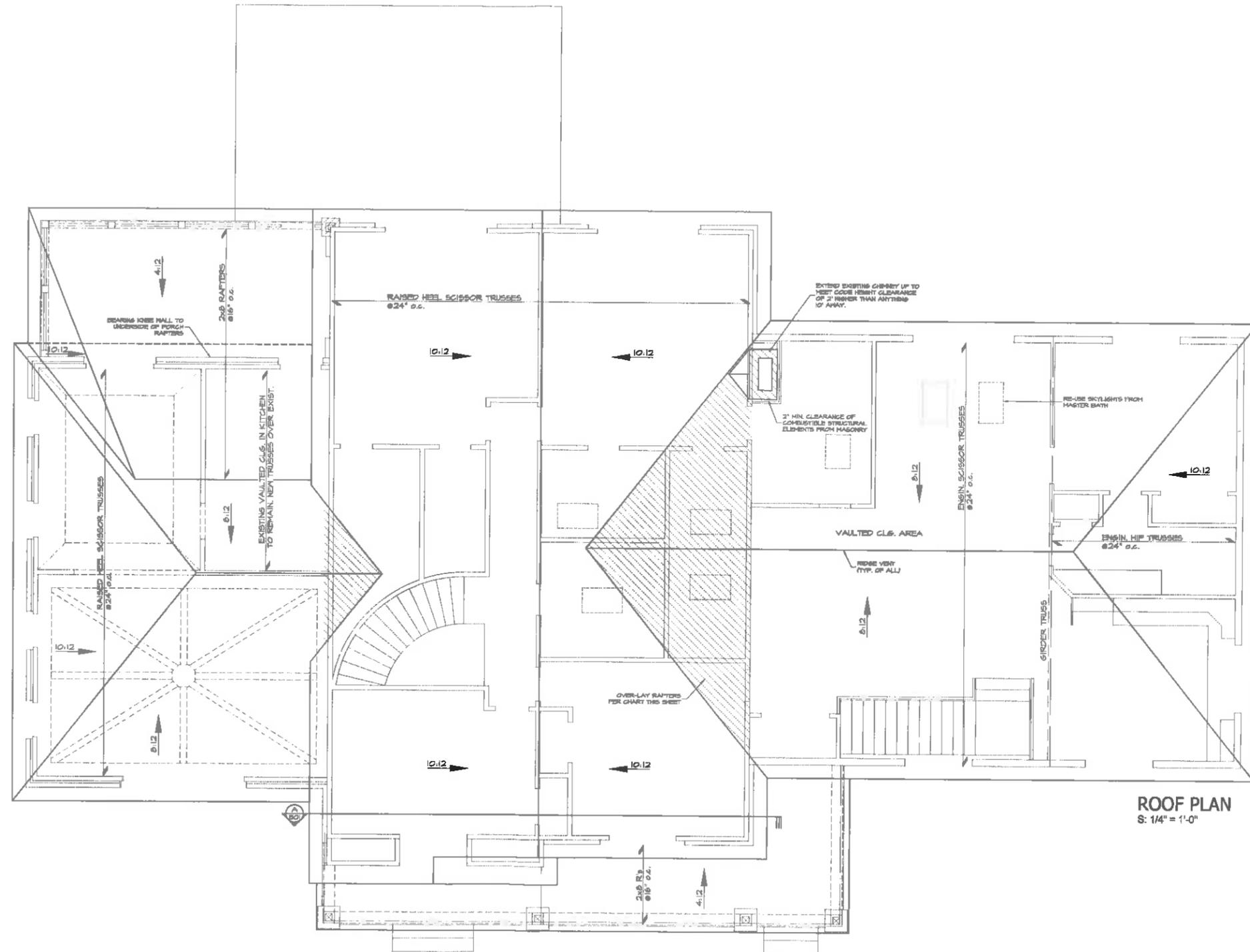
IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

THIS STRUCTURE IS DESIGNED TO RESIST THE FOLLOWING LOADS:
 ROOF/SNOW.....25psf ATTIC.....20psf
 FIRST FLOOR.....40psf SECOND FLOOR.....40psf
 BALCONIES.....60psf BASIC WIND SPEED.....90mph

POINT LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



ROOF PLAN
 S: 1/4" = 1'-0"

ELEVATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

-GRADE SHALL HAVE A MINIMUM OF 6" FALL AWAY FROM THE STRUCTURE WITHIN THE FIRST 10' PER RCO SECTION 401.3.

-ALL CHIMNEYS SHALL EXTEND PAST ANY ROOF THAT IS WITHIN 10'-0" OF THE CHIMNEY BY A MINIMUM OF 2'-0".

-IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO CHOOSE ALL SIDING COLORS, TRIM SIZES AND ANY FALSE VENTS.

SHINGLES:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. MINIMUM ROOF SLOPE NO LESS THAN 1/4" / FT. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 24" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.7.2.

ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

REFER TO ROOF PLAN SHEET FOR VENTING CALCULATIONS.

TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNER'S RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT J. KAPELA DESIGNS, INC. IN ORDER TO UPDATE THE DRAWINGS.

WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

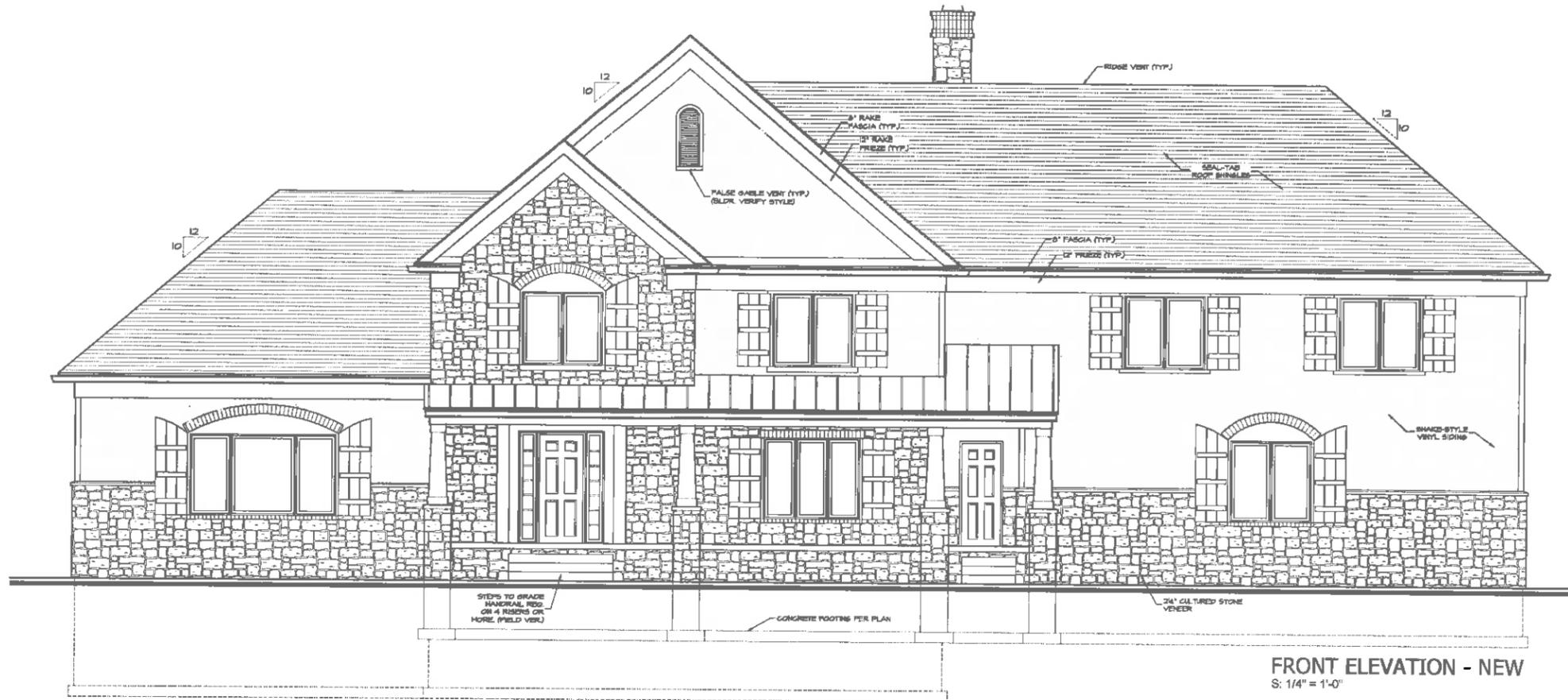
WINDOWS WITHIN 36" HORIZONTALLY & 60" VERTICALLY OF A TUB OR SHOWER MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

EGRESS REQUIREMENTS:

MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"
 MINIMUM NET CLEAR OPENING HEIGHT.....24"
 MINIMUM NET CLEAR OPENING WIDTH.....20"
 MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7
 MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0
 REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

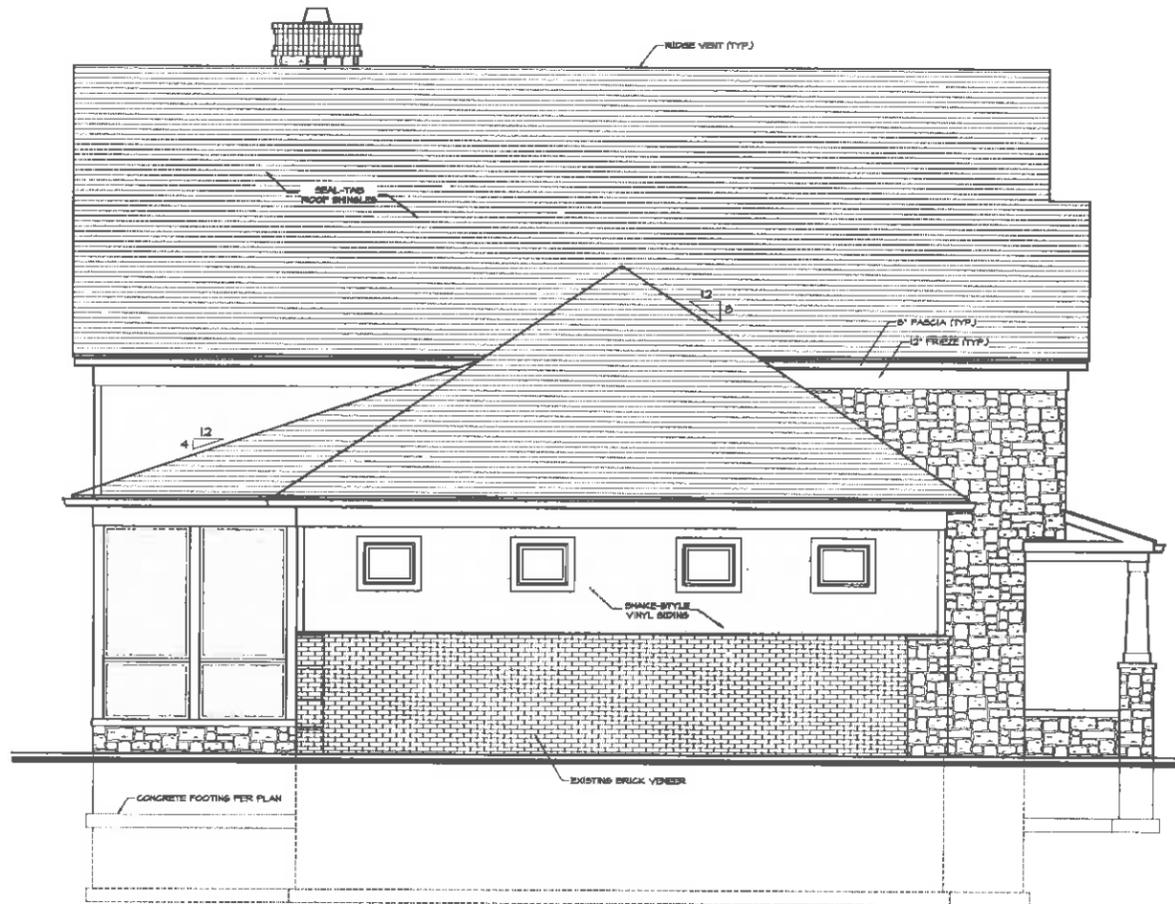
SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



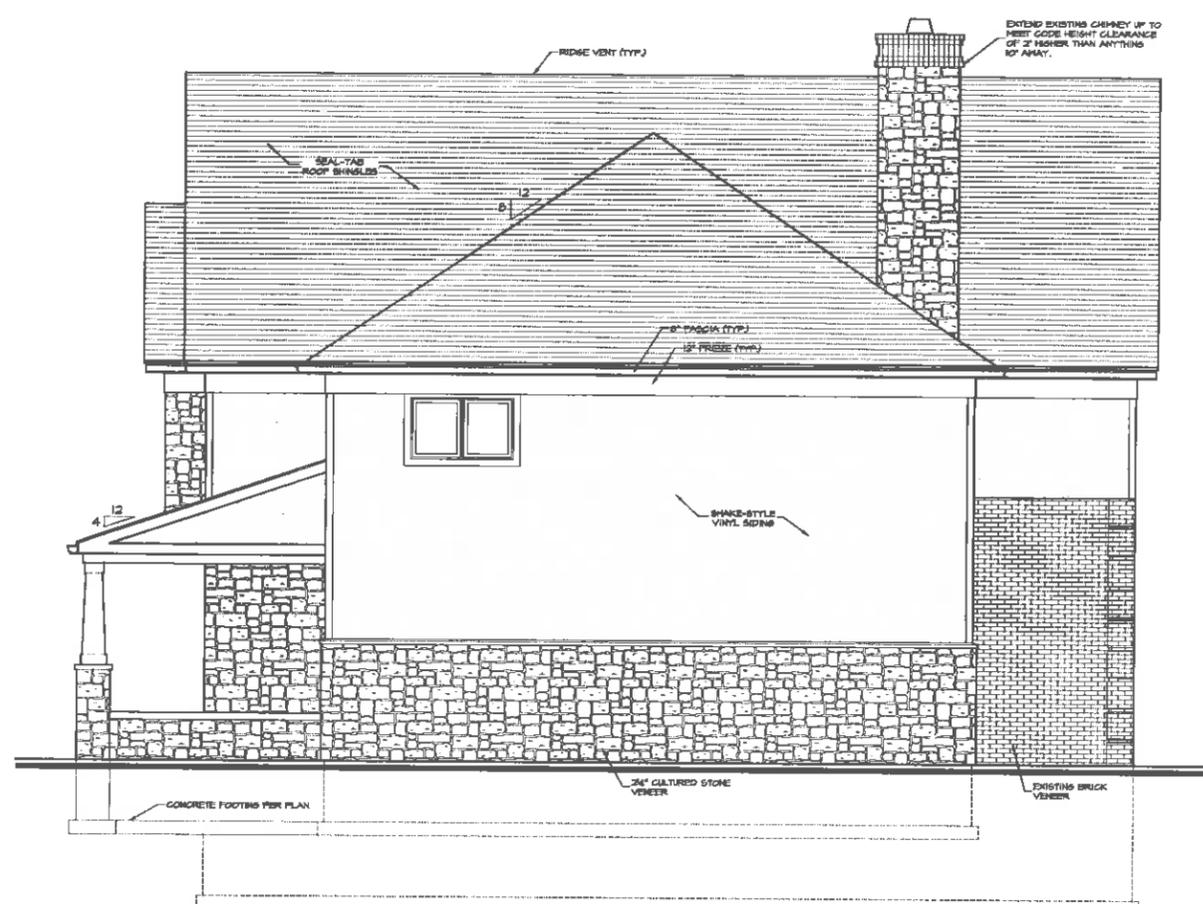
FRONT ELEVATION - NEW
 S: 1/4" = 1'-0"



FRONT ELEVATION - EXISTING
 S: 1/4" = 1'-0"

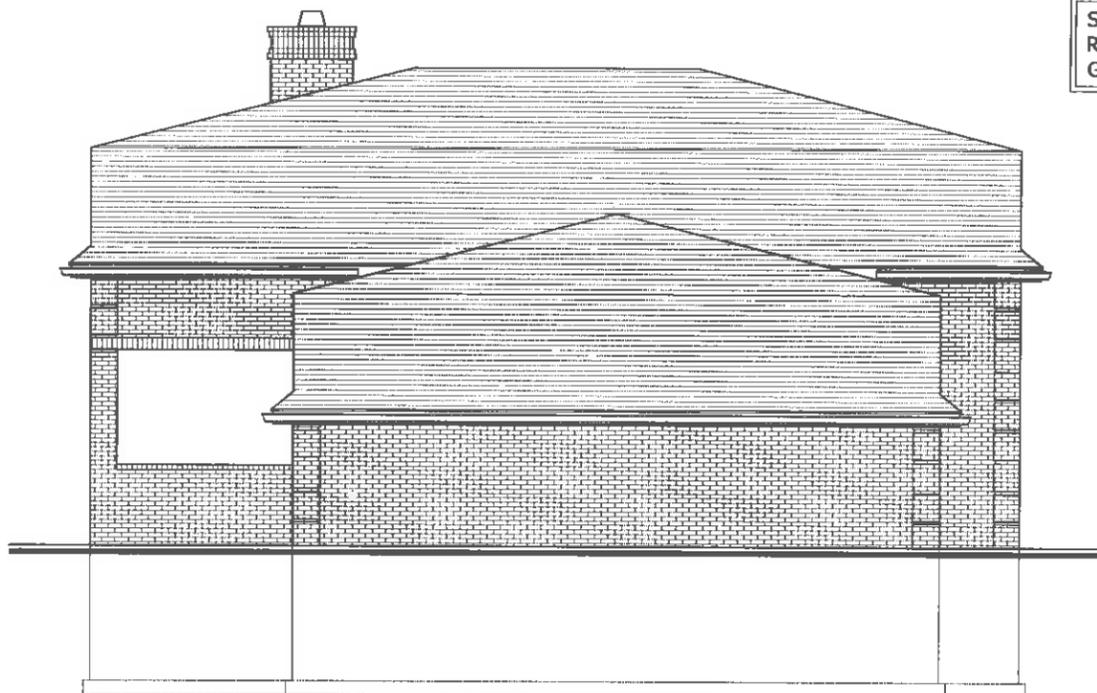


LEFT SIDE ELEVATION - NEW
S: 1/4" = 1'-0"

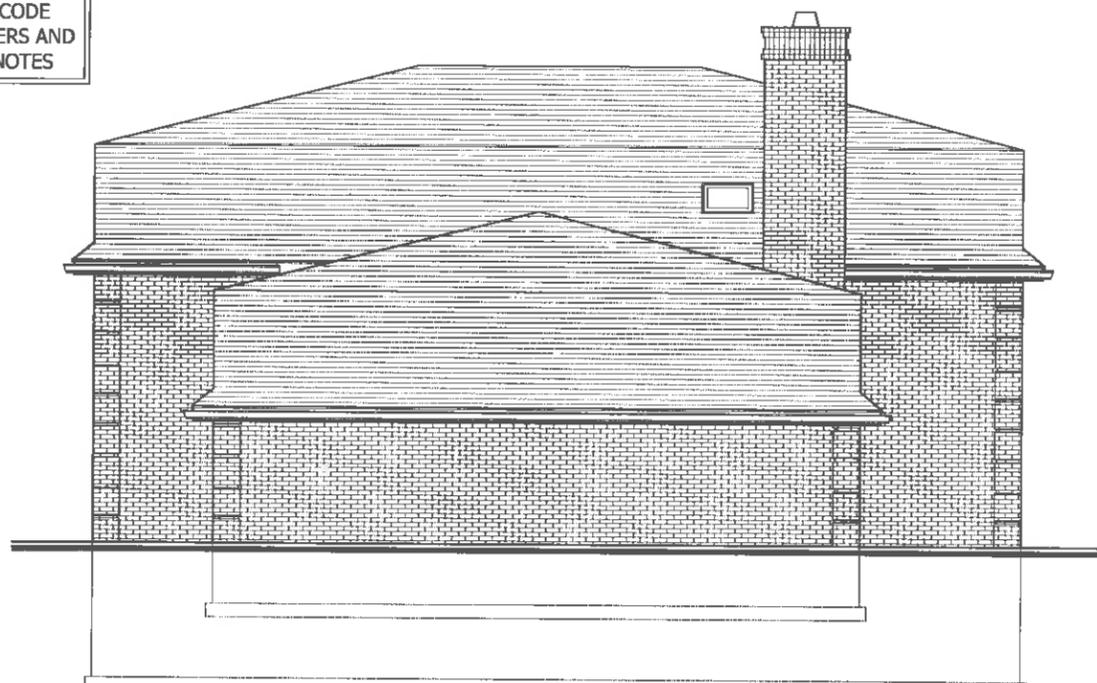


RIGHT SIDE ELEVATION - NEW
S: 1/4" = 1'-0"

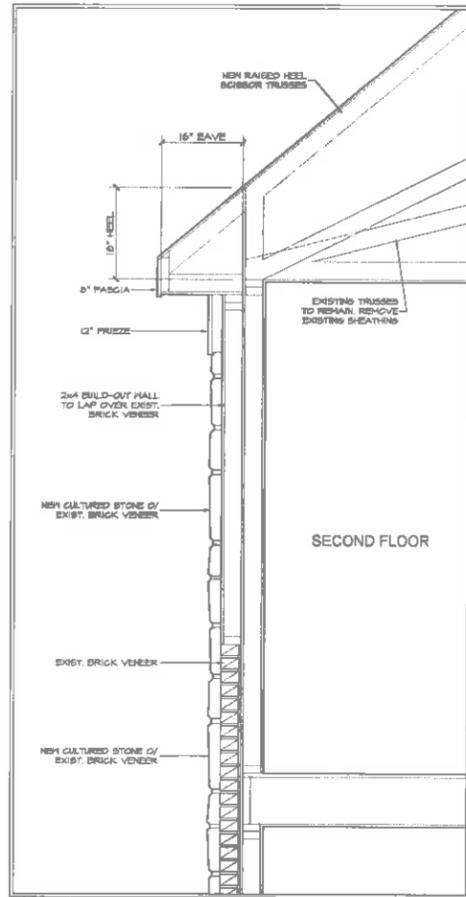
SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



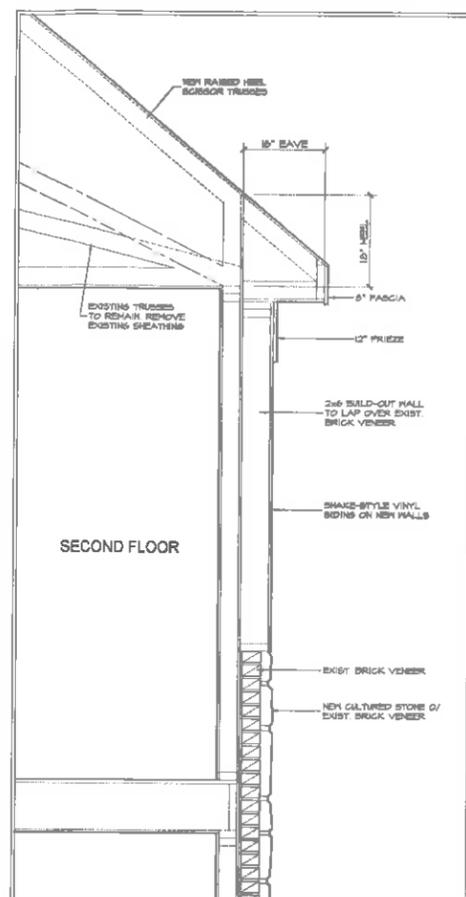
LEFT SIDE ELEVATION - EXISTING
S: 1/4" = 1'-0"



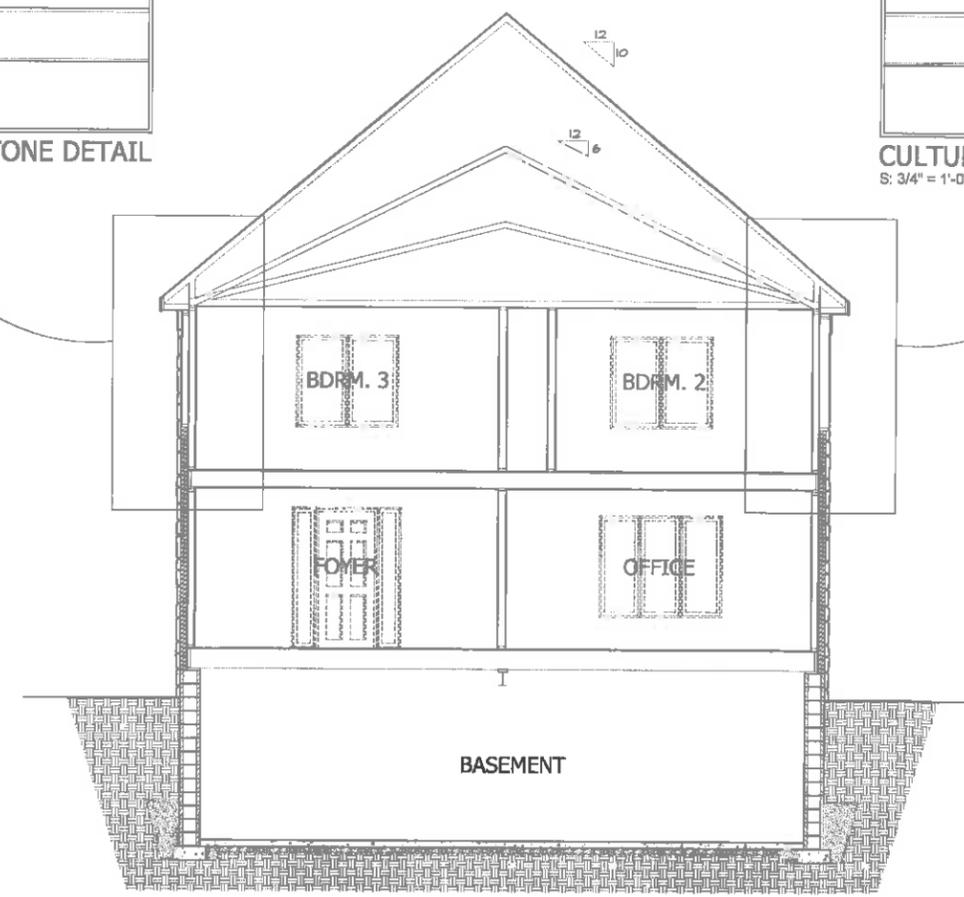
RIGHT SIDE ELEVATION - EXISTING
S: 1/4" = 1'-0"



FULL HGT. CULTURED STONE DETAIL
S: 3/4" = 1'-0"



CULTURED STONE TO SIDING DETAIL
S: 3/4" = 1'-0"



BUILDING SECTION - A
S: 1/4" = 1'-0"

- ROOF**
- RAISED HEEL SCISSOR TRUSSES PER PLAN @ 24" o.c.
 - 2x RAFTERS @ CLS. JOISTS PER PLAN @ 16" o.c.
 - CONTINUOUS RIDGE VENT
 - SEAL-TAB ROOF SHINGLES
 - #15 ROOF FELT
 - 7/16" OSB SHEATHING w/ CLIPS
 - ICE GUARD & WATERSHIELD @ ALL EAVES & VALLEYS
 - R-38 BATT INSULATION w/ BAFFLES AT SOFFIT
 - PROVIDE TRUSS TIE DOWN AT CEILING
 - 5/8" DRYWALL AT CEILING

- SOFFIT**
- ALUMINUM GUTTER
 - 8" FASCIA
 - FULLY PERFORATED ALUM. OR VINYL SOFFIT
 - 12" FRIEZE

- EXTERIOR WALL**
- SHAKE STYLE VINYL SIDING
 - VAPOR BARRIER
 - 2x4 FRAMING @ 16" o.c.
 - 7/16" OSB SHEATHING
 - R-19 INSULATION (MIN.)
 - 1/2" DRYWALL ON INTERIOR

- FLOORS**
- 3/4" T&G OSB - GLUED & NAILED
 - WOOD BASE TRIM
 - EXISTING JOISTS IN MAIN HOUSE
 - 18" FLOOR TRUSSES @ 12" o.c. O/ GARAGE
 - CONTINUOUS X-BRIDGINS @ 8'-0" o.c. (MAX.)
 - R-19 UNFACED BATT INSULATION ALONG RIM JOISTS

- FOUNDATION**
- EXISTING TO REMAIN AS IS
 - FILL OPENINGS PER PLAN w/ 12" CMU AND REBAR TO CODE

- SLAB**
- EXISTING TO REMAIN AS IS

- FOOTING**
- EXISTING TO REMAIN AS IS

TYP. WALL SECTION
S: 1/2" = 1'-0"

NOTE: SOME ITEMS DRAWN IN THIS TYPICAL WALL SECTION ARE DIAGNOSTIC AND NOT NECESSARILY TO THE EXACT SCALE OR FIT. PLEASE REFER TO TYPED NOTES ALONG SIDE & TYPED DIMENSIONS.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

MECHANICAL NOTES

RECEPTACLE LOCATIONS:

PER NEC SECTION 210.52 AND 210.52(A)(1) - REQUIRES ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6'-0" FROM A RECEPTACLE OUTLET.

GFCI LOCATIONS:

PER NEC SECTION 210.8 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, EXTERIOR WALLS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS ABOVE COUNTER TOP HEIGHT, BOAT HOUSES, AND ANY ROOM WITH A SINK WHERE THE OUTLET IS WITHIN SIX FEET OF THE SINK SHALL BE GROUND-FAULT CIRCUIT INTERRUPTER TYPE.

AFCI LOCATIONS:

PER NEC SECTION 210.12 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN ANY ROOM, CLOSET, HALLWAY, CEILING, ETC. OF THE HOUSE SHALL BE ARC-FAULT CIRCUIT INTERRUPTER TYPE EXCEPT WHERE GFCI LOCATIONS SUPERCEDE LISTED IN THE NOTE ABOVE PER NEC SECTION 210.8.

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

BATH FANS / VENTS

ALL BATHROOM EXHAUST FANS SHALL VENT TO THE EXTERIOR AND HAVE A TERMINATION CAP INSTALLED PER RCO SECTION 303.3 EXCEPTION AND 303.5.

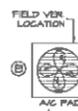
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SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

ELECTRIC SYMBOLS

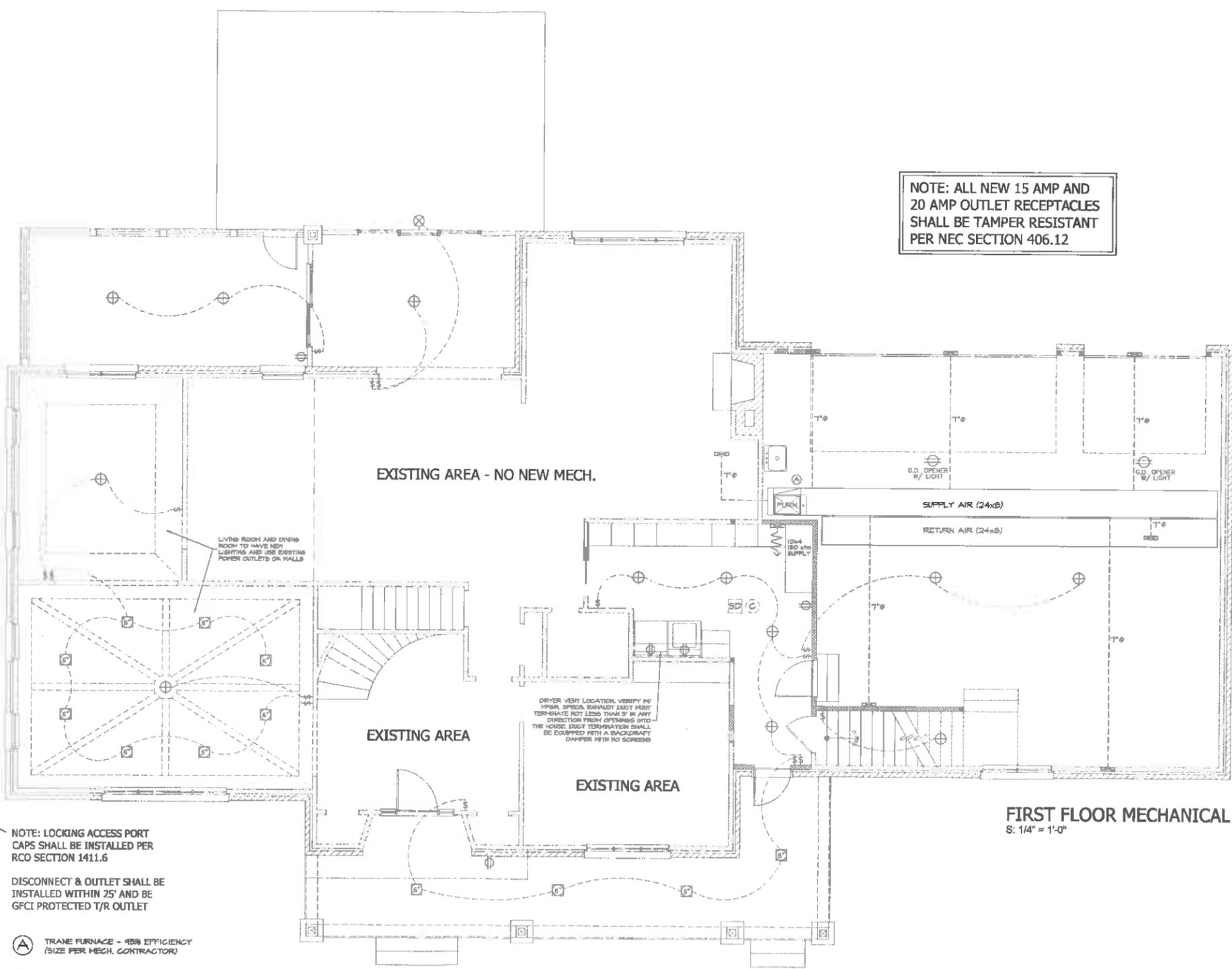
- ⊞ SINGLE POLE SWITCH
- ⊞ 3 WAY SWITCH
- ⊞ 4 WAY SWITCH
- ⊞ 4 WAY SWITCH WITH DIMMER
- ⊞ 110V DUPLEX RECEPTACLE
- ⊞ SWITCH PLUG
- ⊞ SPECIAL OUTLET
- ⊞ TELEPHONE OUTLET
- ⊞ CABLE OUTLET
- ⊞ GROUND FAULT CIRCUIT INTERRUPTER
- ⊞ WEATHERPROOF
- ⊞ JUNCTION BOX
- ⊞ CEILING LIGHT
- ⊞ WALL LIGHT
- ⊞ CEILING OUTLET (RECESSED FIXTURE)
- ⊞ CEILING OUTLET (RECESSED EYEBALL FIXTURE)
- ⊞ EXHAUST FAN
- ⊞ SERVICE PANEL (MAY BE RECESSED OR SURFACE MOUNTED)
- ⊞ CEILING FAN
- ⊞ FLUORESCENT PANEL



NOTE: LOCKING ACCESS PORT CAPS SHALL BE INSTALLED PER RCO SECTION 1411.6

DISCONNECT & OUTLET SHALL BE INSTALLED WITHIN 25' AND BE GFCI PROTECTED T/R OUTLET

- (A) TRANE FURNACE - 95% EFFICIENCY (SIZE PER MECH. CONTRACTOR)
- (E) TRANE CONDENSER - 13 SEER (SIZE PER MECH. CONTRACTOR)



NOTE: ALL NEW 15 AMP AND 20 AMP OUTLET RECEPTACLES SHALL BE TAMPER RESISTANT PER NEC SECTION 406.12

FIRST FLOOR MECHANICAL
S: 1/4" = 1'-0"



CONTACT:
J. KAPELA DESIGNS, INC.
44 CIPHER CL. Huber, Oh. 44136
330.652.1949
www.jkapela.com

FINAL PLAN
01/21/2016 4:34:19 PM

BERNATOVICZ RESIDENCE
1000 ROBINWOOD HILLS
BATH, OHIO
MECHANICAL SCHEMATICS

DATE:
2014-07-31 LAYOUT BATH PLAN

1-21-16

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JOB # 1426

M101

MECHANICAL NOTES

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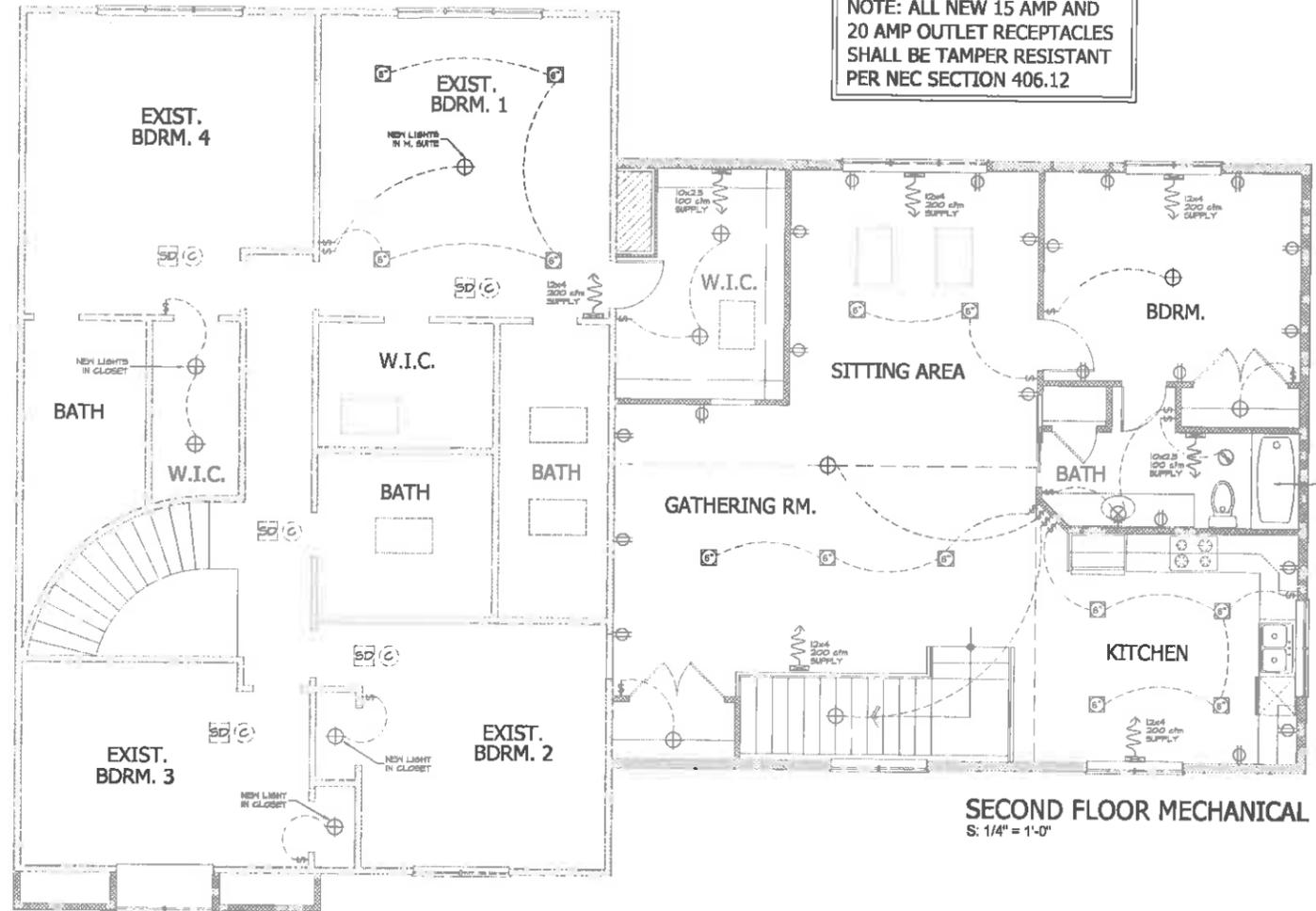
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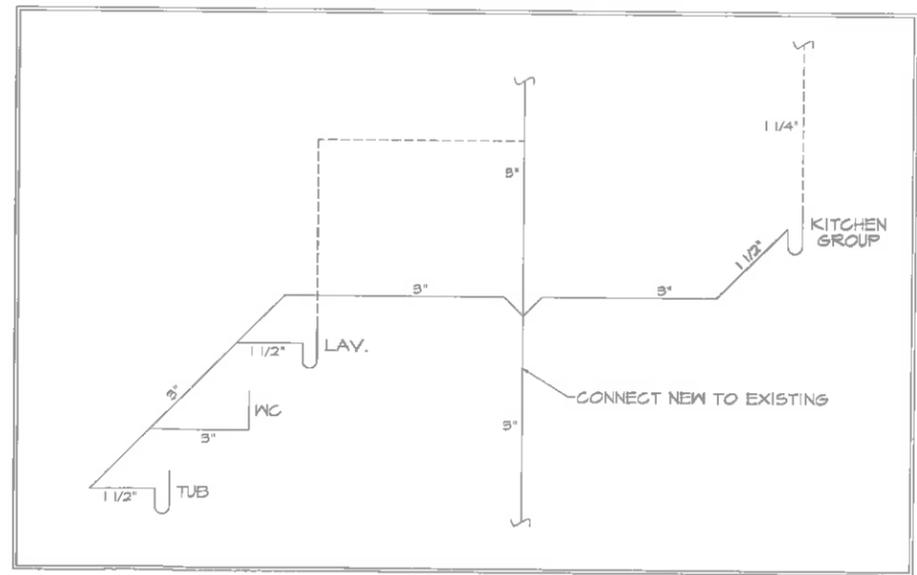
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ELECTRIC SYMBOLS

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	3 WAY SWITCH
	4 WAY SWITCH
	ANY SWITCH WITH DIMMER
	150V DUPLEX RECEPTACLE
	SWITCH PLUG
	SPECIAL OUTLET
	TELEPHONE OUTLET
	CABLE OUTLET
	GROUND FAULT CIRCUIT INTERRUPTER
	WEATHERPROOF
	JUNCTION BOX
	CEILING LIGHT
	WALL LIGHT
	CEILING OUTLET (RECESSED PICTURE)
	CEILING OUTLET (RECESSED EYEBALL PICTURE)
	EXHAUST FAN
	SERVICE PANEL (MAY BE RECESSED OR SURFACE MOUNTED)
	CEILING FAN
	FLUORESCENT PANEL



SECOND FLOOR MECHANICAL
S: 1/4" = 1'-0"



WET VENT PLUMBING DIAGRAM
Scale: N.T.S.



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FINAL PLAN
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JOB # 1426

M102